



# City of Duluth

411 West First Street  
Duluth, Minnesota 55802

## Meeting Agenda

### Heritage Preservation Commission.

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Monday, December 13, 2021

12:00 PM

Council Chamber, Third Floor, City Hall, 411  
West First Street

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**To view the meeting, visit <http://www.duluthmn.gov/live-meeting>**

NOTICE: The Heritage Preservation Commission will be holding this meeting by other electronic means pursuant to Minnesota Statutes Section 13D.021 in response to the COVID-19 emergency. Some members of the Board will be participating through video conference. Due to the COVID -19 emergency and the closure of City facilities, public comment will not be taken in person. However, members of the public can monitor the meeting and provide public comment on agenda items through WebEx Events. Visit <https://duluthmn.gov/live-meeting> to access the meeting. The public is also encouraged to submit written comment to [planning@duluthmn.gov](mailto:planning@duluthmn.gov) prior to the meeting. Please include "HPC Agenda" in the subject line, and include your name and address and the agenda item you are speaking to. Please note that all public comment is considered Public Data.

#### **1 Call to Order/Determination of Quorum**

#### **2 Public Hearings**

PL 21-103 Historic Construction/Demolition Permit for 506 W Michigan St (Depot)

#### **3 Consideration of Minutes**

November 8 2021 Regular HPC Minutes

#### **4 Communications**

MNDOT Letter Regarding Blatnik Bridge

Presentation: Waankam and St. Louis River Estuary

#### **5 Report of Final Disposition on Matters Previously Before the Commission**

Election Of Officers (Tabled From Previous HPC Meeting)

#### **6 Reports of Officers, Staff and Committees**

#### **7 Consideration of Matters Regarding Commission Action**

[HP2](#)

PL 21-161 Downtown Commercial Historic Design Guidelines

**Attachments:**

[PL 21-161 Sep 21 HPC Memo with Draft Doc](#)

[HP4](#)

2022 Preservation Conference

**Attachments:**

[2021 State Preservation Conference Final](#)

**8 Other Business**

**9 Adjournment**

Heritage Preservation Commission  
November 8, 2021 Meeting Minutes  
Web-Ex Meeting Format

*Due to the COVID-19 emergency, the HPC members participated through video conference from home. The meeting was held as a Special Meeting pursuant to Minnesota Statute 13D.021 in response to the Covid-19 emergency.*

Call to Order and Roll Call

President Jessica Fortney called to order the meeting of the Heritage Preservation Commission (HPC) at 12:04 p.m. on Monday, November 8, 2021.

**Attendance:** (Via WebEx video conferencing – all votes conducted via roll call)

Attending: Stacey DeRoche, Jessica Fortney, Jess Mccullough, and Sarah Wisdorf

Absent: Ken Buehler, Brian Hartung, and Mike Poupore

Staff Present: Steven Robertson and Cindy Stafford

Public Hearings

None

Consideration of Minutes

October 11, 2021 Regular HPC Meeting

**MOTION/Second:** Wisdorf/DeRoche approved the minutes with a minor change

**VOTE: (4-0)**

Communications – N/A

Report of Final Disposition of Matters Previously Before the Commission – N/A

Reports of Officers, Staff and Committees

Annual Meeting – Election of Officers and Bylaw Changes (Discussed after Design Guidelines) – Steven Robertson noted the commissioners can only serve two terms. Commissioners Stacey DeRoche and Mike Poupore will need to take a one year break after their term ends in March of 2022. Commissioner Sarah Wisdorf made a motion to Table the election of officers until next meeting when more commissioners are in attendance.

**MOTION/Second:** Wisdorf/Mccullough Table the election of officers until next month

**VOTE: (4-0)**

Consideration of Matters Regarding Commission Action

PL21-161 Downtown Commercial Historic Design Guidelines – Robertson gave an overview. SPHO is in receipt, and has 60 days to review. President Fortney opened the item up for discussion. The HPC will wait for SPHO's comments before they hold their public meeting.

Bylaw Changes

Robertson gave an overview. Staff would like to eliminate the subcommittee portion of the bylaws, since this item hasn't been relevant for many years. The bylaws should reflect the actual work product. If they need to create a subcommittee, they may choose to do so.

**MOTION/Second:** Wisdorf/DeRoche Amend Bylaws to eliminate subcommittee language

**VOTE: (4-0)**

2022 Preservation Conference

Robertson gave an overview. Stillwater hosted a virtual conference in 2021. SPHO would like to have Duluth host the conference in 2022. Michael Coop (of SPHO) would like to speak with city staff, President Fortney and Commissioner Poupore, or an HPC subcommittee to discuss the conference big picture. The conference is usually held during the 4<sup>th</sup> week of September. Commissioner DeRoche is now the event coordinator for the Depot. The Depot would love to be involved. She will check the Depot's schedule and get this conference in the books. Robertson suggested meeting with SPHO as soon as next week if possible. President Fortney agreed and will report back to the HPC.

Other Business

Commissioner Wisdorf noted the planning commission has a light load this month, and nothing pertaining to HPC. She suggested reaching out to Glensheen to see if they would be on board with hosting a preservation conference tour, and possibly staying open late to accommodate the conference. President Fortney agreed that Glensheen would be a good tour for conference attendees. Robertson suggested the HPC do more brainstorming to come up with other tour ideas, etc.

Adjournment

Adjournment at 12:28 p.m.

Respectfully,


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Adam Fulton – Deputy Director  
Department of Planning and Economic Development



**Planning & Development Division**  
*Planning & Economic Development Department*

Room 160  
411 West First Street  
Duluth, Minnesota 55802

 218-730-5580

 [planning@duluthmn.gov](mailto:planning@duluthmn.gov)

Date: December 8, 2021  
To: Planning Commission  
From: Steven Robertson, Senior Planner  
RE: Pending Items on the December 2021 HPC Meeting

**Historic Construction Permit, St. Louis County Depot**

There is a historic construction permit that needs the HPC review for the St. Louis County Depot at 506 West Michigan Street; specifically the large metal canopy that hangs on/over Michigan Street. According to the applicant “the structural deterioration of the canopy columns, so new foundations and piers will be poured and clad with a polished granite color to match the existing building”. There is a related zoning application, for a concurrent use of the public right of way, that is going before the Planning Commission at their December or January meeting.

**Request from Citizen Group To Present Information to the Commission**

The City received a request to make a short presentation to the HPC:

Ms. Barbara Akre and Ms. Libby Bent would like to share short presentation at the HPC meeting.

Waankam has been working to amend the Duluth City Charter by a ballot initiative. If there is a more expedient and inclusive process that would allow for the protection of the St. Louis River Estuary, Waankam supports that process. If the support of the HPC could lead to amendment of the city charter by ordinance, Waankam is committed to assisting in that process.

We envision an Estuary where the natural and human world thrive. We invite all concerned citizens to come together to recognize that we are not separate from the Earth, that in the face of climate change, declining habitat and biodiversity, and increasing biological and chemical pollution, we need to transform how we relate to nature.

Securing legal Rights for Nature would transform that relationship. Rights for nature would recognize that ecosystems – air, rock, soil, water, plants, animals, microorganisms and all of their relationships – have inherent rights just as humans have fundamental rights. And people would have the authority to enforce these rights on behalf of ecosystems.

We invite you to join us in caring for this sacred place. We can begin this critical transformation of our relationship to the natural world here, in our own backyard, by working to pass an amendment to our Duluth city charter. In 2022, vote to recognize the Estuary’s inherent right to exist, thrive, regenerate, evolve, and be restored.

November 8, 2021

Ben Van Tassel, Manager  
Planning and Development  
411 w. First Street, Room 407  
Duluth, MN 55802

**RE:** Section 106 Review of the I-535 Blatnik Bridge Improvements Project (S.P. 6981-26)

Dear Mr. Van Tassel:

On behalf of the Federal Highway Administration (FHWA), the Minnesota Department of Transportation Cultural Resources Unit (MnDOT CRU) is extending an invitation to the Duluth Heritage Preservation Commission to participate in the Section 106 process for the I-535 Blatnik Bridge Project. The John A. Blatnik Bridge is jointly owned and managed by MnDOT and WisDOT who have begun planning for improvements. MnDOT is acting as the lead agency for the environmental review of the Project, including the Section 106 review. More detailed information is available on the Project website at <https://www.dot.state.mn.us/d1/projects/blatnik-bridge/index.html>.

The Project will be funded by the FHWA and, therefore, must comply with Section 106 of the National Historic Preservation Act (54 U.S.C. § 306108). Section 106 requires federal agencies to take into account the effects of their undertakings on historic properties that are listed in, or are eligible for inclusion in, the National Register of Historic Places. When there are potential adverse effects, the agency must consider ways to avoid, minimize, or mitigate those effects. The result is often a Section 106 agreement that stipulates measures to be taken to address Project effects on historic properties. The MnDOT CRU is acting on behalf of the FHWA in carrying out many aspects of the Section 106 process for the Project.

Local governments are entitled to participate in the Section 106 process as consulting parties, along with the State Historic Preservation Office (SHPO), Indian tribes, and other interested organizations and individuals. Consulting parties are able to share their views, receive and review pertinent information, offer ideas, and consider possible solutions together with the Federal agency and other parties. Consulting parties play an active and important role in determining how potential effects on historic properties will be avoided, minimized, or mitigated during the planning and implementation of a proposed project.

We would welcome the involvement of the Duluth HPC in the Section 106 consultation for the Project. If you would like to participate, please let us know of your interest in writing (email is sufficient) within 30 days of your receipt of this letter. If you have any questions, please contact me at [elizabeth.abel@state.mn.us](mailto:elizabeth.abel@state.mn.us) / (612) 297-3599.

Sincerely,



Elizabeth J. Abel  
Archaeologist/Historian  
MnDOT Cultural Resources Unit

**att:** Project Location Map

**cc:** Project Documentation File





**Planning & Development Division**  
*Planning & Economic Development Department*

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## APPLICATION COVER SHEET

### Check One Box

- Accessory Home Share-**\$101.50**
- Appeal to Planning Com. - **\$400**
- Concurrent Use of Streets - **\$784**
- District Plan - **\$1,125**
- EAW or EIS- **\$2,810**, plus any applicable professional fees
- X** Historic
- X** Construction/Demolition - **\$57**
- Resource Designation - **\$100**
- Interim Use Permit **\$630**
- Planning Review - **\$1,051**
- Sidewalk Use Permit
- New Permit- **\$168**
- Renewal Permit - **\$85**
- Special Use Permit, General - **\$1,580**
- Special Use Permit, Wireless Telecommunications\*
- Modifying or Co-locating – **\$2,810**
- New Facility or Tower – **\$5,623**
- Escrow Deposit - **\$9,559**
- Subdivision Plat Approval or Amendment:
- Concept Plan - **\$281**
- Preliminary Plat - **\$1,120**
- Final Plat- **\$843**
- Minor Subdivision-**\$420**
- Plat Amendment or Boundary Line Adjustment - **\$281**
- Registered Land Survey-**\$725**
- Temporary Use Permit - **\$275**
- UDC Zoning Map Amendment/Rezoning
- General - **\$897**
- MU-P or R-P **\$2,500**
- Vacation of Street or Utility Easement - **\$890**
- Variance - **\$841**
- Wetland,
- De Minimus, Delineation, or No Loss- **\$223**
- Exemption-**\$168**
- Replacement Plan - **\$837**
- Zoning Verification Letter-**\$94**

### CONTACT INFORMATION:

Applicant/Owner ST. LOUIS COUNTY PROPERTY MANAGEMENT

Phone 218.726.2406 Email 218.726.2406

Address 100 N 5TH AVE W RM 515

City DULUTH State MN Zip 55802

Owner's Agent (if applicable) ARCHITECTURE ADVANTAGE

Phone 218.724.5568 Email shane@architectureadvantage.com

Address 2715 PIEDMONT AVE

City DULUTH State MN Zip 55811

### APPLICATION INFORMATION:

Street Address and Zoning of Property 506 WEST MICHIGAN STREET FORM DISTRICT 8 (F-8) DOWNTOWN MIX

Parcel ID Number 010-1230-00140

Reason for this Request (*Attach Additional Pages or Cover Letter if Necessary*)

THIS PROPERTY IS A LOCAL HISTORICAL DESIGNATION WHICH

REQUIRES A PUBLIC HEARING FOR A "CERTIFICATE OF

APPROPRIATENESS". THERE IS STRUCTURAL DETERIORATION OF THE

CANOPY COLUMNS, SO NEW FOUNDATIONS AND PIERS WILL BE

POURED AND CLAD WITH A POLISHED GRANITE COLOR TO

MATCH THE EXISTING BUILDING FACADE COLOR PALETTE.

The undersigned hereby represents upon all of the penalties of law for the purpose of inducing the City of Duluth to take the action herein requested, that all statements herein and attached are true and that all work herein mentioned will be done in accordance with the Ordinances of the City of Duluth and the laws of the State of Minnesota. Undersigned also understands that all documents provided to the City may be considered public data, per Minnesota Government Data Practices Act.

 \_\_\_\_\_ 11.29.2021  
 Signature of Applicant Date

**Reminder:** include application checklist and all supporting information, including pre-application verification (if applicable). Submit completed information to Room 100, Construction Services and Inspections.

\*Special Use Permit Checklist required to be submitted with this application coversheet.



**Application for  
CERTIFICATE OF APPROPRIATENESS  
for Duluth Heritage Preservation Landmarks and Districts**

**Please complete this application as it pertains to your project. Attach all information required, including a scope of work form.**

**Location of Building:** 506 WEST MICHIGAN STREET Duluth, MN 55802  
(Street Address) (City, State) (Zip Code)  
DULUTH UNION DEPOT PEABODY & STEARNS OF BOSTON  
(Historic Name) (Architect Name(s) - if known)  
**Owner:** ST. LOUIS COUNTY ST. LOUIS COUNTY 218.726.2406  
(Name) (Street Address, City, State, Zip Code) (Daytime Phone)  
**Applicant:** ARCHITECTURE ADVANTAGE 2715 PIEDMONT AVE DULUTH, MN 55811 218.724.5568  
(Applicant's Name, if other than owner) (Street Address, City, State, Zip Code) (Daytime Phone)

**Owner's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**TYPE OF WORK PROPOSED**

- Exterior Restoration     Addition to Building     Landscaping     Signs     New Construction  
 Interior Restoration (COA may not be required - please check building's preservation plan)

**EXTERIOR ALTERATIONS (CHECK ALL THAT APPLY)**

- |   |  |
|---|--|
| <input type="checkbox"/> Windows<br><input type="checkbox"/> Doors<br><input type="checkbox"/> Siding<br><input checked="" type="checkbox"/> Roof change<br><input type="checkbox"/> Chimney<br><input type="checkbox"/> Lighting<br><input type="checkbox"/> Facade<br><input checked="" type="checkbox"/> Other | <p><u>Checklist of items needed for application:</u></p> <input type="checkbox"/> Scale drawings of all building elevations impacted by change<br><input type="checkbox"/> Photos of current condition of all building elevations impacted by<br><input type="checkbox"/> Detailed specifications and scope of work<br><input type="checkbox"/> Materials to be used (color number, sample of material & that which is being matched, name of manufacturer & material)<br><input type="checkbox"/> Detailed drawings of new windows, doors, or other features in scope of work |
|---|--|

Description of proposed changes:

A 1:1 replacement of the existing roof system, existing canopy columns to be cut approx 3' above entrance FFE/grade and connected to new footings and piers clad in polished granite, new drop off/loading zone lane under existing canopy, and sidewalk replacement to be ADA compliant to main entry of building.  
**Reason for changes:** Roof is deteriorated and leaking into the building & water management is very poor, the base of the existing structural columns are deteriorated by snow melt salt/age and need to be addressed. The entire entry sidewalk area has to be removed for the structural repairs, so the owner wants to add a drive lane/drop off area under the existing canopy to provide a safe and accessible entry into to the building.  
**Location of changes on building:** NW side of the site, between W Michigan St and the Depot Building.

**ADDITION TO BUILDING**

Description of addition:

\_\_\_\_\_

Reason for changes: \_\_\_\_\_

Location of addition on site: \_\_\_\_\_

Reason for addition: \_\_\_\_\_

Size: \_\_\_\_\_

(Number of Stories) (Length) (Width) (Height)

Architect: \_\_\_\_\_ ( ) - \_\_\_\_\_  
(Name) (Street Address, City, State, Zip Code) (Phone)

Contractor: \_\_\_\_\_ ( ) - \_\_\_\_\_  
(Name) (Street Address, City, State, Zip Code) (Phone)

Checklist of items needed for application:

- Scale drawings of all building elevations impacted by change
- Photos of current condition of all building elevations impacted by change
- Detailed specifications and architectural drawings of existing structure
- Detailed specifications and architectural drawings of new construction (Including but not limited to materials to be used on exterior and architectural elements - color numbers, samples of materials & samples of existing materials being matched, name of manufacturers & materials)
- Site plan showing existing and new construction

**LANDSCAPING:**

Description of proposed landscape changes: \_\_\_\_\_

Reason for changes: \_\_\_\_\_

Location of changes on site: \_\_\_\_\_

Checklist of items needed for application:

- Detailed architectural landscape design plans to scale with building elevations shown
- Detailed site plans to scale
- Material samples and existing materials samples
- Photos of existing landscape and structures to be impacted.
- Detailed scope of work and specifications.
- Photos of statues, structures, etc. to be incorporated, if appropriate

**SIGNS**

Purpose: \_\_\_\_\_

Location: \_\_\_\_\_

Size: \_\_\_\_\_

Material: \_\_\_\_\_

Description: \_\_\_\_\_

Checklist of items for application:

- Architectural drawings of all building elevations related to new sign - must illustrate the location of both proposed and existing signs and method of lighting (if any).
- Architectural drawings of all proposed signs illustrating style(s), noting dimensions, materials, method of attachment to building or below ground structure, if free-standing, etc.
- Samples of all materials to be used (specific colors).
- Associated lighting, specifications, photos and/or catalog cuts
- A full description of the work to be performed.
- If prefabricated sign, photos and name of manufacturer, model number, etc.

**INTERIOR RESTORATION**

Description of proposed interior changes:

\_\_\_\_\_

\_\_\_\_\_

Reason for interior changes: \_\_\_\_\_

\_\_\_\_\_

Location of changes within building: \_\_\_\_\_

Checklist of items for application:

- Scale drawings of all building elevations impacted by change
- Photos of current condition of all building to be impacted by changes
- Detailed specifications and architectural drawings of modifications to be made (Including but not limited to: materials to be used on exterior and architectural elements - color numbers, samples of materials & samples of existing materials being matched, name of manufacturers & materials)
- Detailed floor plan showing existing and new construction

**NEW CONSTRUCTION ON SITE**

Description of Addition: \_\_\_\_\_

Reason for Addition: \_\_\_\_\_

Location of Addition on site: \_\_\_\_\_

Size: \_\_\_\_\_

	(Number of Stories)	(Length)	(Width)	(Height)
Architect:	_____			( ) -
	(Name)	(Street Address, City, State, Zip Code)		(Phone)
Contractor:	_____			( ) -
	(Name)	(Street Address, City, State, Zip Code)		(Phone)

Checklist of items needed for application:

- Scale drawings of all building elevations impacted by change
- Photos of current condition of all building elevations impacted by change
- Detailed specifications and architectural drawings of existing structure
- Detailed specifications and architectural drawings of new construction (Including but not limited to: materials to be used on exterior and architectural elements - color numbers, samples of materials & samples of existing materials being matched, name of manufacturers & materials)
- Site Plan showing existing and new construction

**Reductions to 11" by 17" are required of all oversized blueprints, plans, and drawings.**

No applications will be processed without a complete application, signed by the owner, and all required attachments.

Duluth Heritage Preservation Commission  
Duluth Community Planning Division  
Room 208 City Hall  
Duluth, MN 55802  
Phone: 730-5580

## SCOPE OF WORK FORM

### Instructions for Completing the Scope of Work Form for Local Historic Landmark Designations

**Detailed Description of Work.** In the numbered blocks, provide a description of project work. Describe the site work. A separate block should be used to describe each work item and its effect on architectural features or spaces.

In the left block, identify the architectural feature to be impacted, and indicate whether the feature described is original to the building, was added at a later date, or is new construction. Give the approximate date of the feature. In the appropriate space, describe its physical condition. Indicate the photograph or drawing numbers that show the feature described.

In the right block, explain in detail the work to be undertaken. Describe the effect (visual, structural, or other) on existing features. List drawings, marked photographs, or specification page numbers that show the work and impact on the existing building.

**Photographs.** The applicant must submit a sufficient number of good, clear photographs to document both interior and exterior conditions, including site and environment, prior to any work to be performed, and to show the areas of proposed or completed work.

Elevations and interior features and spaces of the buildings should be shown. All photographs should

be numbered, dated and labeled with the property name, the view (e.g., east side) and a brief description of what is shown; photographs should be keyed to the application narrative, where appropriate. In many cases, it may be helpful to mark directly on the photographs the areas of proposed or complete work. Photographs may be black-and-white or color, but must show architectural features *clearly*. Photographs are not returnable.

**Drawings or sketches.** Drawings or sketches are required for proposed work to show planned alterations or new construction. They must be sufficiently detailed to show existing wall configurations and anticipated changes. If warranted by the work to be performed, documentation should include floor plans, sections and elevations. All drawings and sketches submitted with the review form should be numbered and should be keyed to the form.

**Project amendments.** If changes are made to a project at any time after submission of the initial review form, submit a continuation/amendment sheet. Provide the name and address of the property, indicate changes in project work, giving the originally proposed treatment and the amended work item description. Give the owner's name. Sign and date the form. Give the owner's address and daytime telephone number. Return to City Planning Department. (See sample format below)

<p>Scope of Work (Please provide scope of work from architect for all features to be addressed - include all items that follow.)</p> <p>Work Item number: _____ Approx. Date of Feature: _____</p> <p>Architectural Feature: _____</p> <p>Describe the existing feature and its condition:</p> <p>Accompanying photo number:</p>	<p>Describe the work to be done on existing feature:</p> <p>Paint Color Name &amp; Number and Manufacturer:</p> <p>Other materials: Type, Color and Manufacturer (Use additional page if necessary)</p>
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## SCOPE OF WORK

<p><b>Architectural feature:</b> <u>facade brick</u> <b>Approximate date of feature:</b> <u>ca. 1880</u> <b>Description of feature and its condition:</b> Hard pressed red brick with butter joints in good condition. Mortar mostly sound, but deteriorated and missing around downspout at east end of facade. Some graffiti at first floor.</p> <p>Photo No. <u>3.6</u> Drawing No. _____</p>	<p>No. 1</p>	<p><b>Description of work to be performed on existing feature:</b> Repair and replace existing mortar with new to match existing (see specs.). Remove graffiti with chemical cleaners (see specs.).</p>
<p><b>Architectural feature:</b> <b>Approximate date of feature:</b> <b>Description of feature and its condition:</b></p> <p>Photo No. _____ Drawing No. _____</p>	<p>No. 2</p>	<p><b>Description of work to be performed on existing feature:</b></p>

SEE ATTACHED SCOPE OF  
WORK DOCUMENT (BELOW)

The Scope of Work form is used to determine whether the proposed work meets the Secretary of the Interior’s *Standards for the Treatment of Historic Properties*, a requirement of Heritage Preservation Department programs. The Standards are a set of established common sense guidelines that consider the historic nature and character-defining features of buildings/structures when recommending treatments for their preservation. The *Standards* state that deteriorated historic features shall be repaired whenever possible. Where the severity of deterioration requires replacement, the new feature should match the old in design, composition, color, and texture, whenever possible.

## Instructions for Completing the Scope of Work Form:

**DETAILED DESCRIPTION OF PRESERVATION WORK.** A separate row should be used to describe each work item. In the **left block**, identify the architectural feature requiring work and indicate whether the feature described is original to the building, was added at a later date, or is new construction. Give the approximate date of the feature. Describe its physical condition. Indicate the photograph or drawing numbers that show the feature described. **Please include historic photos, if available.** In the **right block**, explain in detail the preservation work to be undertaken on the feature. List drawings, marked photographs, or catalog specification page numbers that show the preservation work.

**Adobe Reader needed to fill out form** — [Download Free Copy](#)

## Required Supporting Documentation For Common Project Types:

### Masonry

Photographs of existing masonry and mortar.

**For Repointing:** Mortar specifications. Existing mortar must be tested. Replacement mortar must match the historic mortar in composition, texture, color, and joint profile.

**For Cleaning:** Technical specifications for product and method.

### Windows and Doors

Close-up/detail photographs and/or drawings of existing windows/doors and trim profile showing condition and configuration.

Manufacturer specification sheet for replacement window/door showing head, jamb, and sill details and section.

Must include information on elevation, muntins (if applicable), type of material (e.g. wood, aluminum), screens/storms, finish (e.g. painted), and glass type (e.g. single-pane, low-e, thermo-pane).

### HVAC Replacement and Fire Suppression Systems

Manufacturer specification sheet for new unit or system. Plan of installation, including locations of equipment, piping, vents. Describe any elements that will be visible from inside or outside of the building and any building features that must be altered to accommodate the new unit or system.

### Roofs

Photographs and documentation of existing roofing. Manufacturer’s product description of replacement roofing (to include type of material, exposure).

### Ramp Installation

Photograph of proposed location for ramp/lift. Plan view and elevation drawing of ramp.

## Examples:

<p><b>NUMBER:</b></p>	<p>Architectural feature: <u>2nd Story Windows</u></p> <p>Approx. date of feature: <u>1912 &amp; later additions</u></p>	<p><b>Describe work and impact on existing feature:</b></p> <p>Windows will be repaired. Old glazing putty and broken panes will be removed. Areas of limited rot will be repaired with epoxy specially formulated for wood repair. Windows will be scraped, sanded and primed and painted. Two sills will require replacement. Replacement material will match existing in size, shape and material. Aluminum storms will be removed, and replaced with new wood surround storm windows – manufacture’s details are attached.</p>
<p><b>Describe existing feature and its condition:</b></p> <p>Windows are wood double hung windows. Windows are painted and in fair condition. Glazing putty in poor condition, paint is peeling. Small areas of rot on bottom sash and sills of many windows. Two window sills have extensive rot.</p> <p>Photo No. <u>4-6</u> Drawing No. <u>2</u></p>		
<p><b>NUMBER:</b></p>	<p>Architectural feature: <u>main staircase</u></p> <p>Approx. date of feature: <u>ca. 1880/unknown</u></p>	<p><b>Describe work and impact on existing feature:</b></p> <p>Replace missing balusters with matching pieces. Sand painted banisters and balusters and varnish. Replace treads as needed. Sand and paint stairs. Retain later stair as is.</p>
<p><b>Describe existing feature and its condition:</b></p> <p>Original stair exists between 1st and 3rd floors. Some balusters missing and treads worn. Later stair from 3rd to 8th floors.</p> <p>Photo No. <u>9, 10</u> Drawing No. <u>A-12</u></p>		

# Scope of Work Form

Property Name: \_\_\_\_\_

Date: \_\_\_\_\_

Property Address: \_\_\_\_\_

<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		
<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		
<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		
<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		

# Scope of Work Form

Property Name: \_\_\_\_\_

Date: \_\_\_\_\_

Property Address: \_\_\_\_\_

<b>NUMBER:</b> Architectural feature: _____ Approx. date of feature: _____	<b>Describe existing feature and its condition:</b>        Photo No. _____ Drawing No. _____	<b>Describe work and impact on existing feature:</b>
<b>NUMBER:</b> Architectural feature: _____ Approx. date of feature: _____	<b>Describe existing feature and its condition:</b>        Photo No. _____ Drawing No. _____	<b>Describe work and impact on existing feature:</b>
<b>NUMBER:</b> Architectural feature: _____ Approx. date of feature: _____	<b>Describe existing feature and its condition:</b>        Photo No. _____ Drawing No. _____	<b>Describe work and impact on existing feature:</b>
<b>NUMBER:</b> Architectural feature: _____ Approx. date of feature: _____	<b>Describe existing feature and its condition:</b>        Photo No. _____ Drawing No. _____	<b>Describe work and impact on existing feature:</b>



# Scope of Work Form

Property Name: \_\_\_\_\_

Date: \_\_\_\_\_

Property Address: \_\_\_\_\_

<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		
<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		
<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		
<b>NUMBER:</b>	Architectural feature: _____ Approx. date of feature: _____	<b>Describe work and impact on existing feature:</b>
<b>Describe existing feature and its condition:</b>		
Photo No. _____ Drawing No. _____		



# ARCHITECTURE ADVANTAGE



**PICTURE #1**  
Column 1



**PICTURE #3**  
Column 2



**PICTURE #3**  
Column 3



**PICTURE #4**  
Column 4



**PICTURE #5**  
Column 5



**PICTURE #6**  
Column 6



# ARCHITECTURE ADVANTAGE



**PICTURE #7**  
Sidewalk/Entry



**PICTURE #8**  
Sidewalk/Entry



**PICTURE #9**  
Roof Standing Seam



**PICTURE #10**  
Roof Standing Seam



# ARCHITECTURE ADVANTAGE



**PICTURE #11**  
Roof/Sill Flashing



**PICTURE #12**  
Roof/Sill Flashing



**PICTURE #13**  
Roof/Wall Flashing



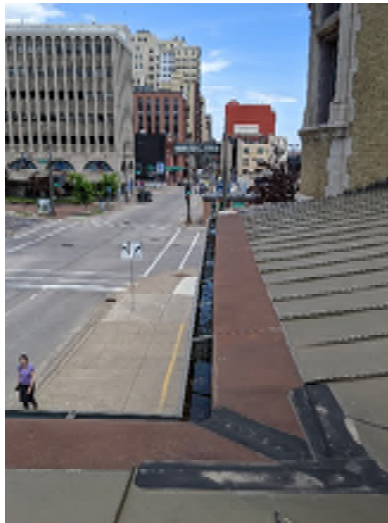
**PICTURE #14**  
Roof/Wall Flashing



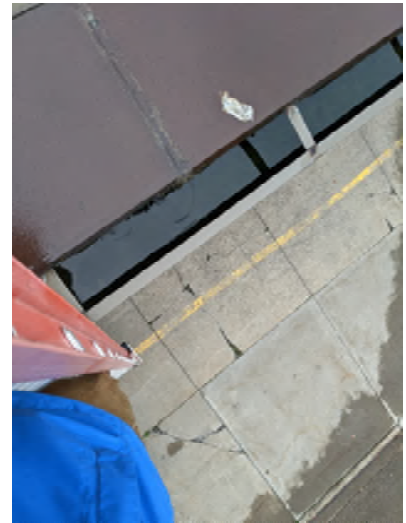
# ARCHITECTURE ADVANTAGE



**PICTURE #15**  
Roof Edge/Gutter



**PICTURE #16**  
Roof Edge/Gutter



**PICTURE #17**  
Roof Edge/Gutter



**PICTURE #18**  
Roof Ridge



**PICTURE #19**  
Roof Valley



**PICTURE #20**  
Roof Valley



# ARCHITECTURE ADVANTAGE



**PICTURE #21**  
Roof/Wall Flashing



**PICTURE #22**  
Roof/Wall Flashing



**PICTURE #23**  
Roof/Wall Flashing

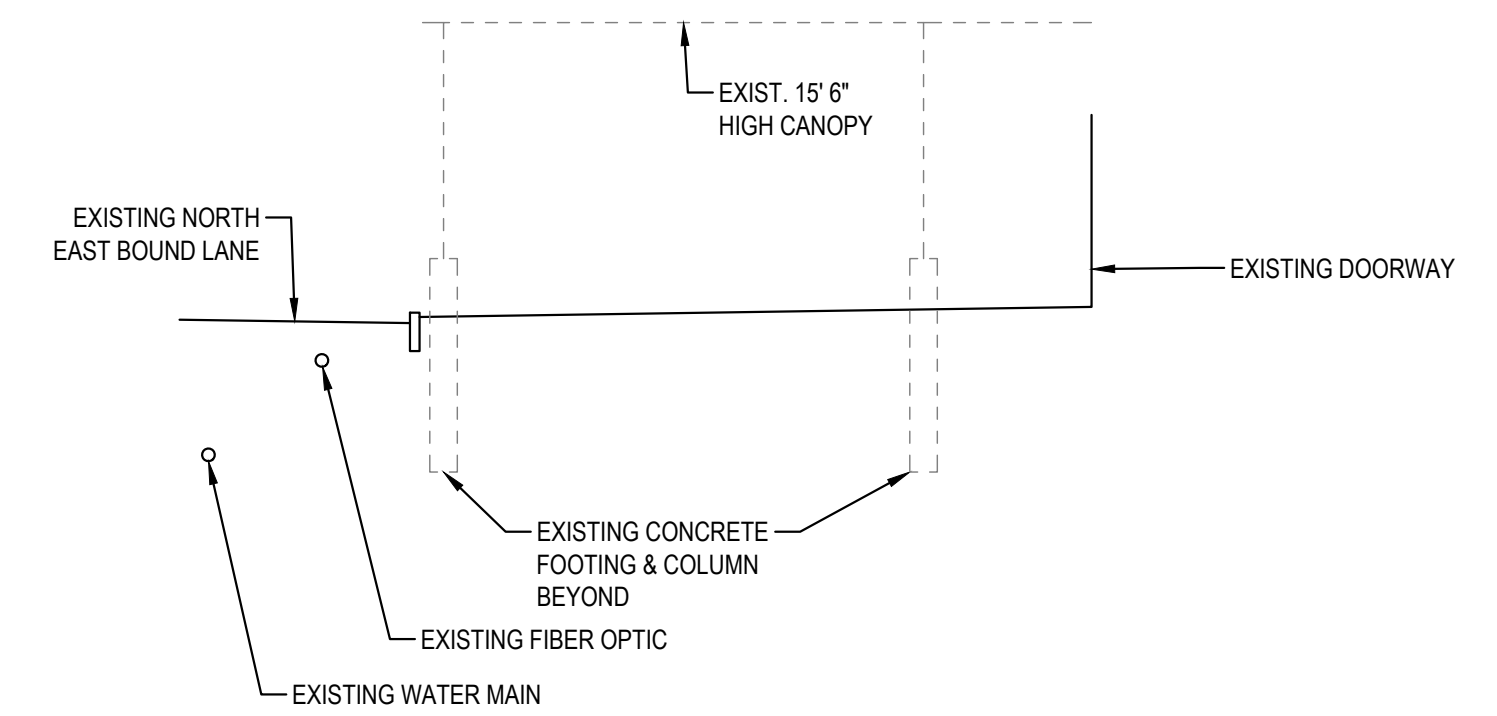


**PICTURE #24**  
Roof/Wall Flashing

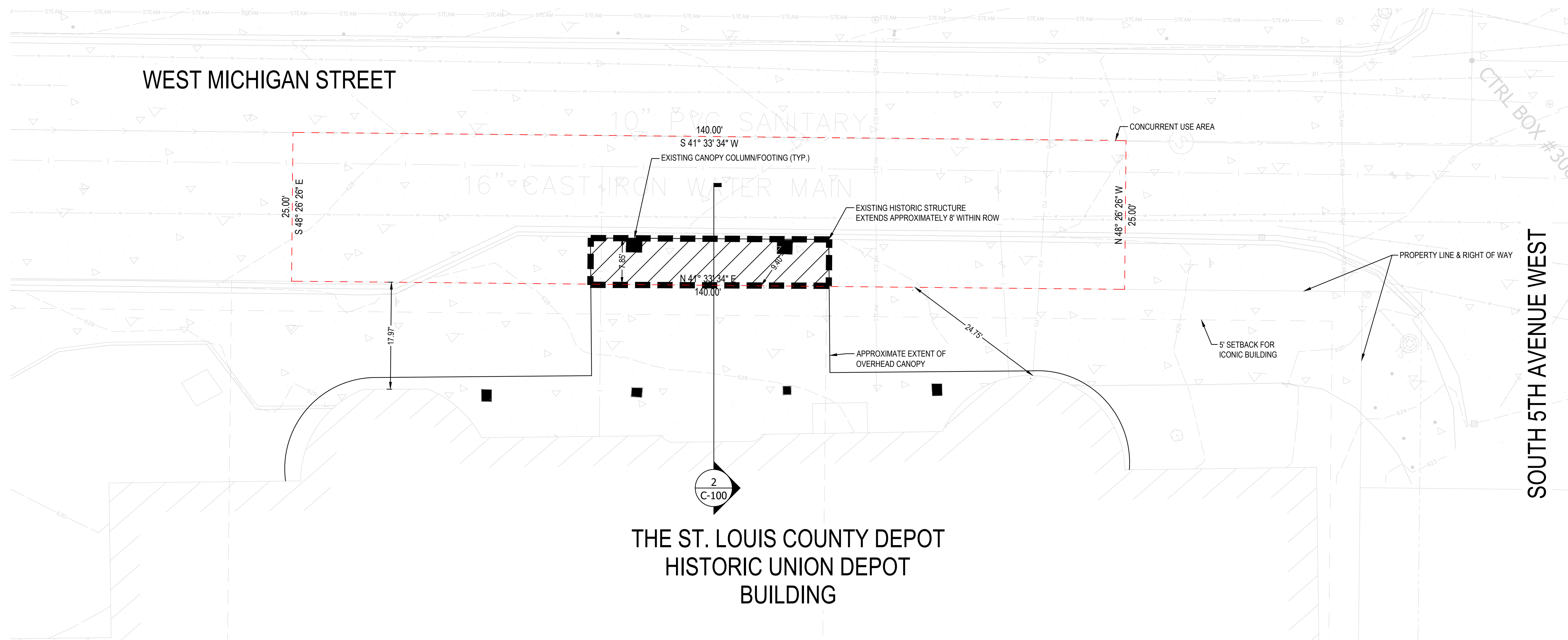
# SLC DEPOT CANOPY IMPROVEMENTS

## EXISTING CONDITIONS

### CONCURRENT USE PERMIT EXHIBIT



2 CONCEPTUAL SECTION FACING NORTH EAST  
NTS

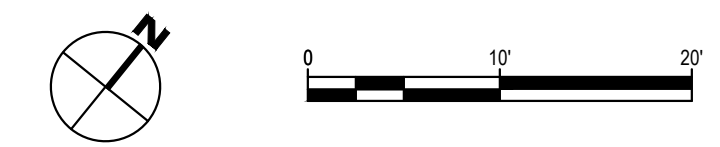


**Concurrent Use Permit Description:**

Those parts of Lots 7 and 8, Block C, and that part of West Michigan Street, all as platted and dedicated in DULUTH PROPER THIRD DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota, described as follows:

Commencing at the intersection of the centerline of West Michigan Street with the centerline of Fifth Avenue West, as platted and dedicated in said DULUTH PROPER THIRD DIVISION; thence South 41 degrees 33 minutes 34 seconds West, assumed bearing along the centerline of said West Michigan Street, a distance of 83.00 feet to the point of beginning of the tract to be described; thence continue South 41 degrees 33 minutes 34 seconds West, along the centerline of said West Michigan Street 140.00 feet; thence South 48 degrees 26 minutes 26 seconds East 25.00 feet; thence North 41 degrees 33 minutes 34 seconds East 140.00 feet; thence North 48 degrees 26 minutes 26 seconds West 25.00 feet to the point of beginning.

1 SITEPLAN



PLOT DATE: 11/29/2021 4:55 PM



Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS BEFORE YOU DIG.  
CAUTION UTILITY INFORMATION IS APPROXIMATE.  
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

△	

LINE IS 1" ON FULL SCALE DRAWING

**WINDSOR ENGINEERS**  
Vancouver, WA  
Duluth + Minneapolis, MN  
www.windsorengineers.com  
Project No: 21171  
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**PRELIMINARY**

SLC DEPOT - CANOPY IMPROVEMENTS  
DULUTH, MN

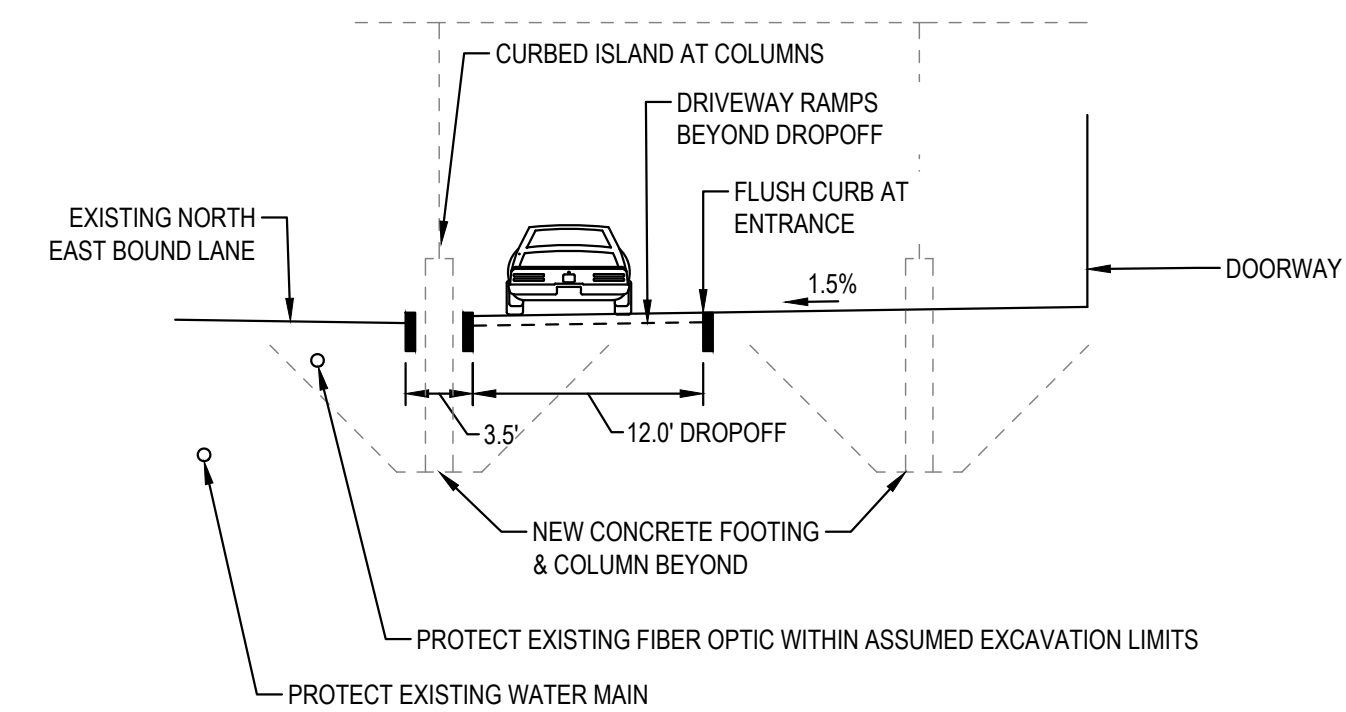
CONCURRENT USE PERMIT EXHIBIT  
Issue Date: 2021-11-29

Project Manager TMS  
Drawn by TMS  
Checked by TMS

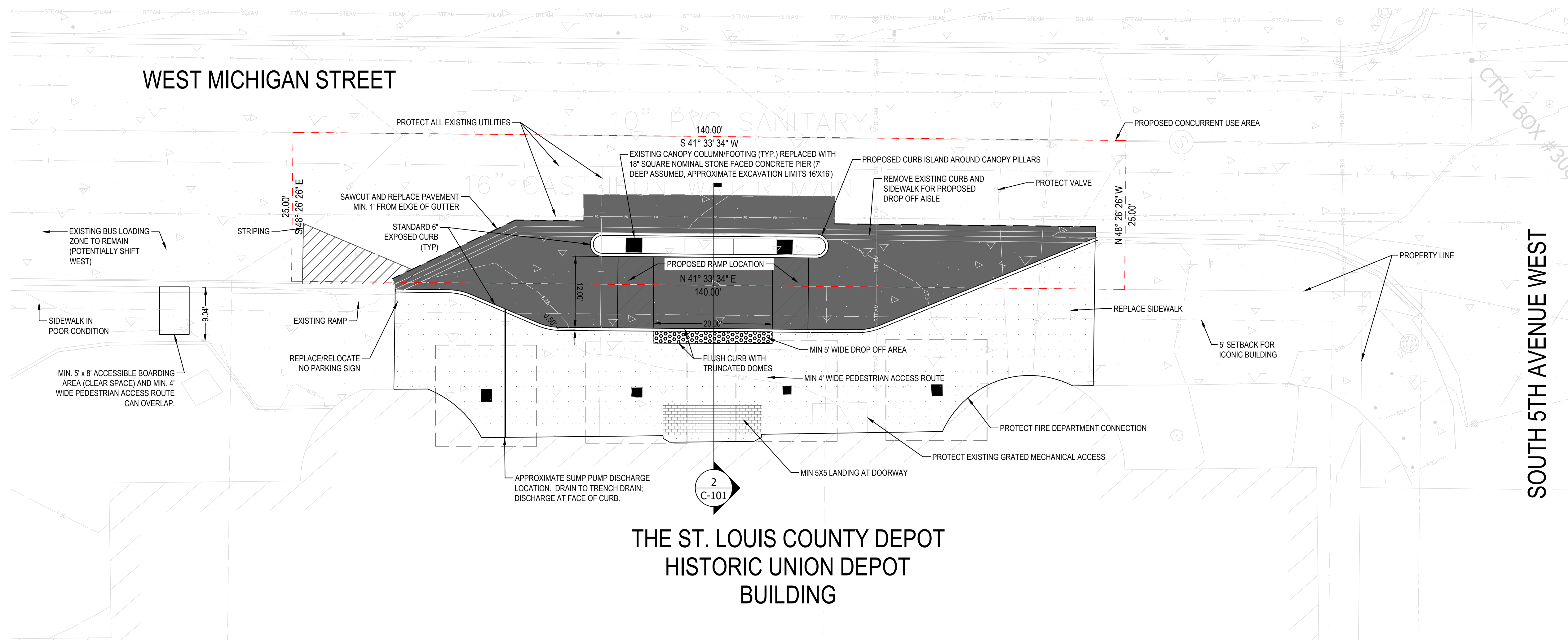
EXISTING CONDITIONS

C-100

# SLC DEPOT CANOPY IMPROVEMENTS PRELIMINARY SITEPLAN CONCURRENT USE PERMIT EXHIBIT

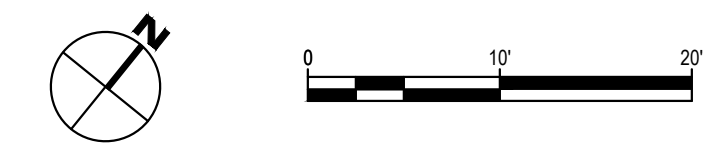


2 CONCEPTUAL SECTION FACING NORTH EAST  
NTS



**Concurrent Use Permit Description:**  
Those parts of Lots 7 and 8, Block C, and that part of West Michigan Street, all as platted and dedicated in DULUTH PROPER THIRD DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota, described as follows:  
Commencing at the intersection of the centerline of West Michigan Street with the centerline of Fifth Avenue West, as platted and dedicated in said DULUTH PROPER THIRD DIVISION; thence South 41 degrees 33 minutes 34 seconds West, assumed bearing along the centerline of said West Michigan Street, a distance of 83.00 feet to the point of beginning of the tract to be described; thence continue South 41 degrees 33 minutes 34 seconds West, along the centerline of said West Michigan Street 140.00 feet; thence South 48 degrees 26 minutes 26 seconds East 25.00 feet; thence North 41 degrees 33 minutes 34 seconds East 140.00 feet; thence North 48 degrees 26 minutes 26 seconds West 25.00 feet to the point of beginning.

1 SITEPLAN



PLOT DATE: 11/29/2021 4:55 PM



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VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

NO.	DATE	DESCRIPTION

LINE IS 1" ON FULL SCALE DRAWING

**WINDSOR ENGINEERS**  
Vancouver, WA  
Duluth + Minneapolis, MN  
www.windsorengineers.com  
Project No: 21171  
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**PRELIMINARY**

SLC DEPOT - CANOPY IMPROVEMENTS  
DULUTH, MN

CONCURRENT USE PERMIT EXHIBIT  
Issue Date: 2021-11-29

Project Manager TMS  
Drawn by TMS  
Checked by TMS

SITEPLAN

C-101





Holden  
ALABAMA ELECTRIC DIVISION  
248.938.1425  
248.938.4757  
www.holden.com

W Michigan



# SLC Depot





Engineering  
Land Surveying  
Site Development

JPJ ENGINEERING, INC  
425 Grant Street  
Hibbing, MN 55746  
(218) 262-5528

5670 Miller Trunk Hwy  
Duluth, MN 55811  
(218) 720-6219

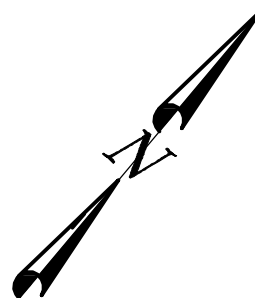
www.jpjeng.com

CERTIFICATE & TOPOGRAPHIC SURVEY

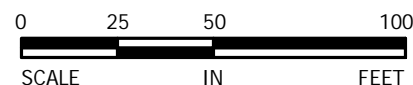
For: St. Louis County Property Management  
506 West Michigan Street, Duluth, Minnesota 55802.  
Part of Lots 7, 8, 9 & 10, Block C, DULUTH PROPER THIRD ADDITION, St. Louis Co., MN.

**LEGEND:**

- iron monument found
- 1/2 inch iron monument set, marked "JPJ ENG 21401"
- EM electric meter
- ∅ power pole
- EM electric meter
- Ⓢ gas meter
- T telephone box
- E electric box
- ⓔ electric manhole
- Ⓜ manhole type unknown
- Ⓢ sanitary manhole
- ⊗ water valve
- ▣ catch basin
- guard post
- Ⓚ sign
- Ⓚ traffic signal
- ☁ deciduous tree
- UE — underground electric line
- UG — underground gas line
- STEAM — steam line
- > — sanitary sewer line
- >> — storm sewer line
- I — water main line
- OE — overhead power line
- ▭ concrete surface
- ▭ bituminous surface
- ▭ gravel surface



SCALE: 1 INCH = 50 FEET



**PROPERTY DESCRIPTION:**

Those parts of Lots 7, 8, 9 and 10, Block C, DULUTH PROPER THIRD DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota, lying northerly of the northerly right of way line of the railroad and lying southwesterly of the northeasterly 10.00 feet of said Lot 7, including the east half of vacated 6th Avenue West adjacent to said Lot 10.

**SURVEYOR NOTES:**

Orientation of the bearing system is based on the northwesterly line of Lots 7 through 10, Block C, DULUTH PROPER THIRD DIVISION to have a bearing of N 41°33'34"E.

JPJ Engineering has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.

Area of this property is 96,038 square feet or 2.2047 acres ±.

Address of the property is 506 West Michigan Street, Duluth, MN 55802.

Parcel Identification Number is 010-1230-00140.

**CERTIFICATION:**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Signed this 27th day of October, 2021 for JPJ Engineering, Inc.

Randy M. Morton, PLS License Number 21401

SURVEY BY : AJG

DRAWN BY : AJG

DESIGNED BY :

APPROVED BY : RMM

DATE: 10/27/2021

PROJECT NUMBER

21-947

SHEET NUMBER

1 OF 2



Engineering  
Land Surveying  
Site Development

JPJ ENGINEERING, INC  
425 Grant Street  
Hibbing, MN 55746  
(218) 262-5528

5670 Miller Trunk Hwy  
Duluth, MN 55811  
(218) 720-6219

www.jpjeng.com

# CERTIFICATE & TOPOGRAPHIC SURVEY

For: St. Louis County Property Management

506 West Michigan Street, Duluth, Minnesota 55802.

Part of Lots 7, 8, 9 & 10, Block C, DULUTH PROPER THIRD ADDITION, St. Louis Co., MN.

SURVEY BY : AJG

DRAWN BY : AJG

DESIGNED BY :

APPROVED BY : RMM

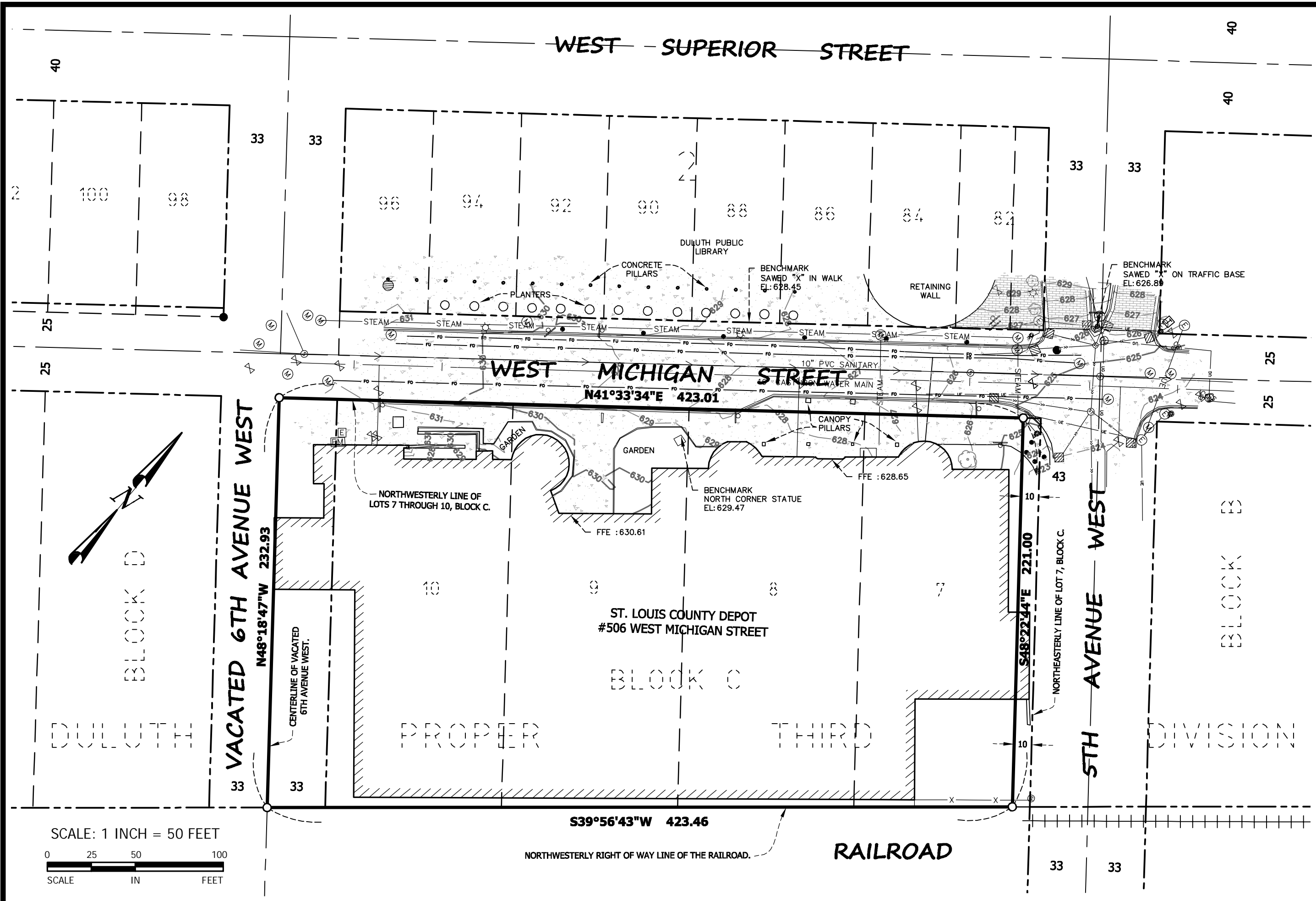
DATE: 10/27/2021

PROJECT NUMBER

21-947

SHEET NUMBER

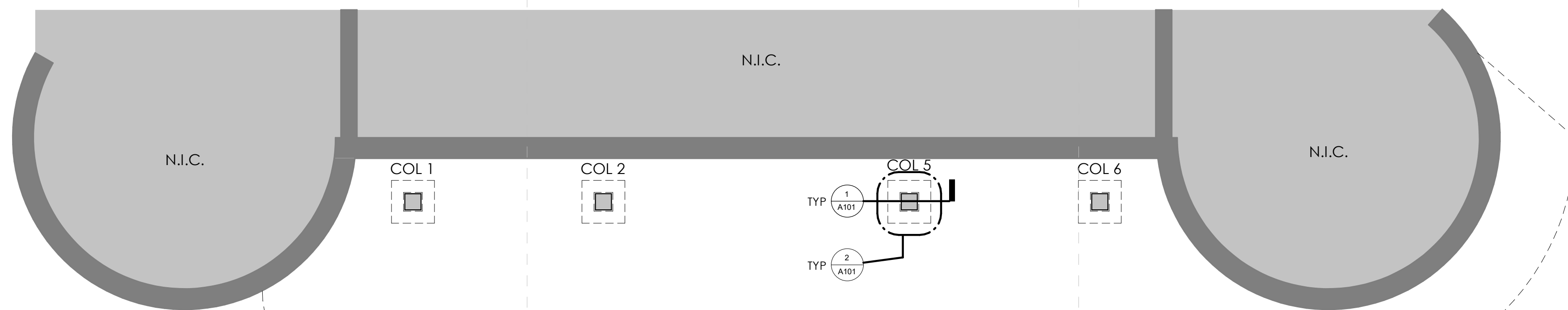
2 OF 2



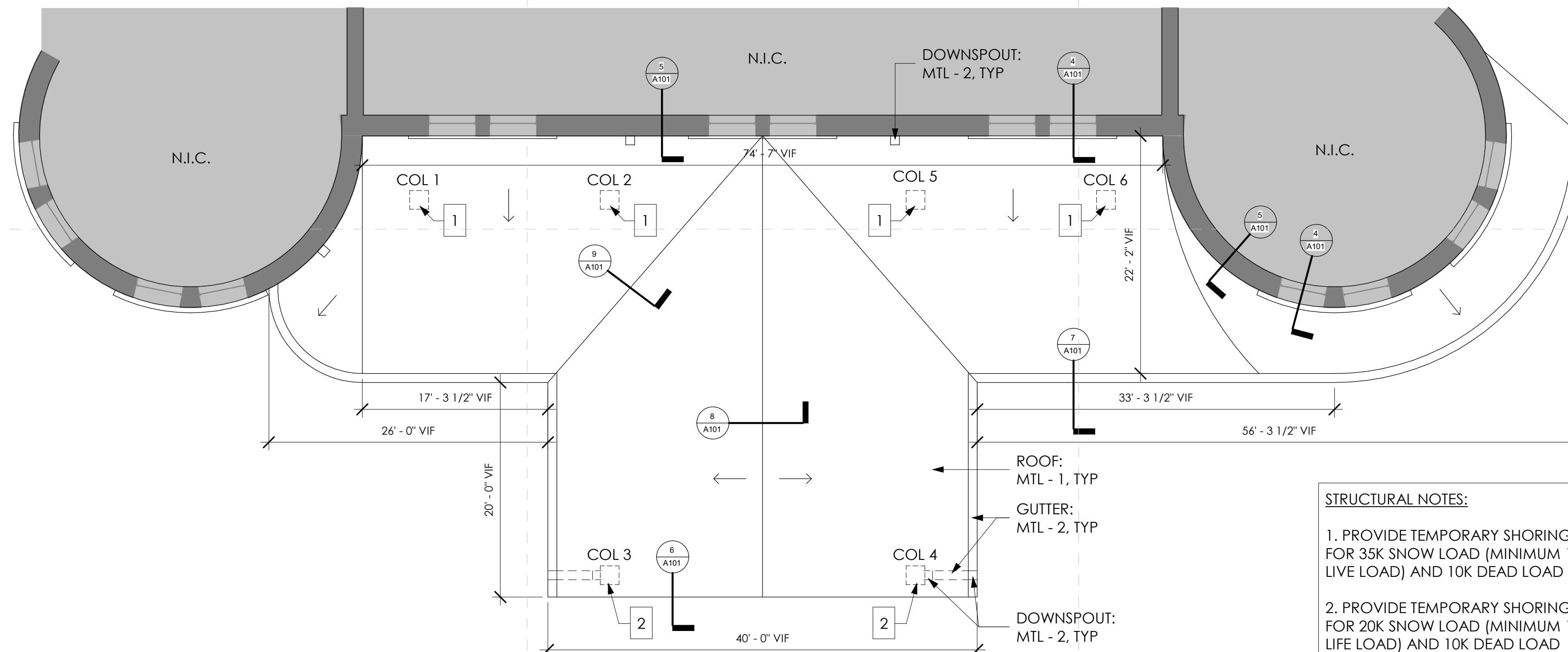
SCALE: 1 INCH = 50 FEET



T:\St. Louis County\21-947 Depot-Canopy Duluth\dwg\700\21-947 SLC Canopy COS Topo.dwg 10/27/2021 7:11 PM



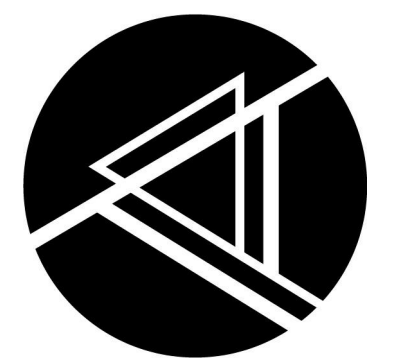
1 LEVEL 1 FLOOR PLAN  
A100 1/8" = 1'-0"



2 ROOF PLAN  
A100 1/8" = 1'-0"

STRUCTURAL NOTES:

1. 24x24 CONCRETE PIER W/ 4-#9 VERTICAL REIN STEPPED TO 20X20 AT STONE BEARING ELEVATION (6 THUS)
- PROVIDE #4 TIES AT 18" OC
- ALIGN VERTICAL BARS WITH 20X20 PIER
2. 4'-0"x4'-0"x1'0" CONCRETE FOOTING W/ 4-#5 BARS EA WAY BOT, TYP



**ARCHITECTURE  
ADVANTAGE**

2715 Piedmont Avenue - Duluth, MN 55811  
 Phone: 218.724.5568 - Email: info@architectureadvantage.com  
 (Suite 420) 375 Jackson Street - Saint Paul, MN 55101  
 Phone: 651.224.4831 - Email: info@architectureadvantage.com

Certified MN-Woman Owned Business

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11.29.2021

SHEET TITLE:  
DEMO, SITE &  
FLOOR PLANS

This sheet shall not be used for any other project. The bar above is 1" long on a full size sheet. Drawing scales apply to full scale sheets.

**SLC DEPOT CANOPY REPAIRS**

506 W MICHIGAN ST, DULUTH, MN 55802

PROJECT NO: 2117  
 DRAWN BY: SN  
 CHECKED BY: KT

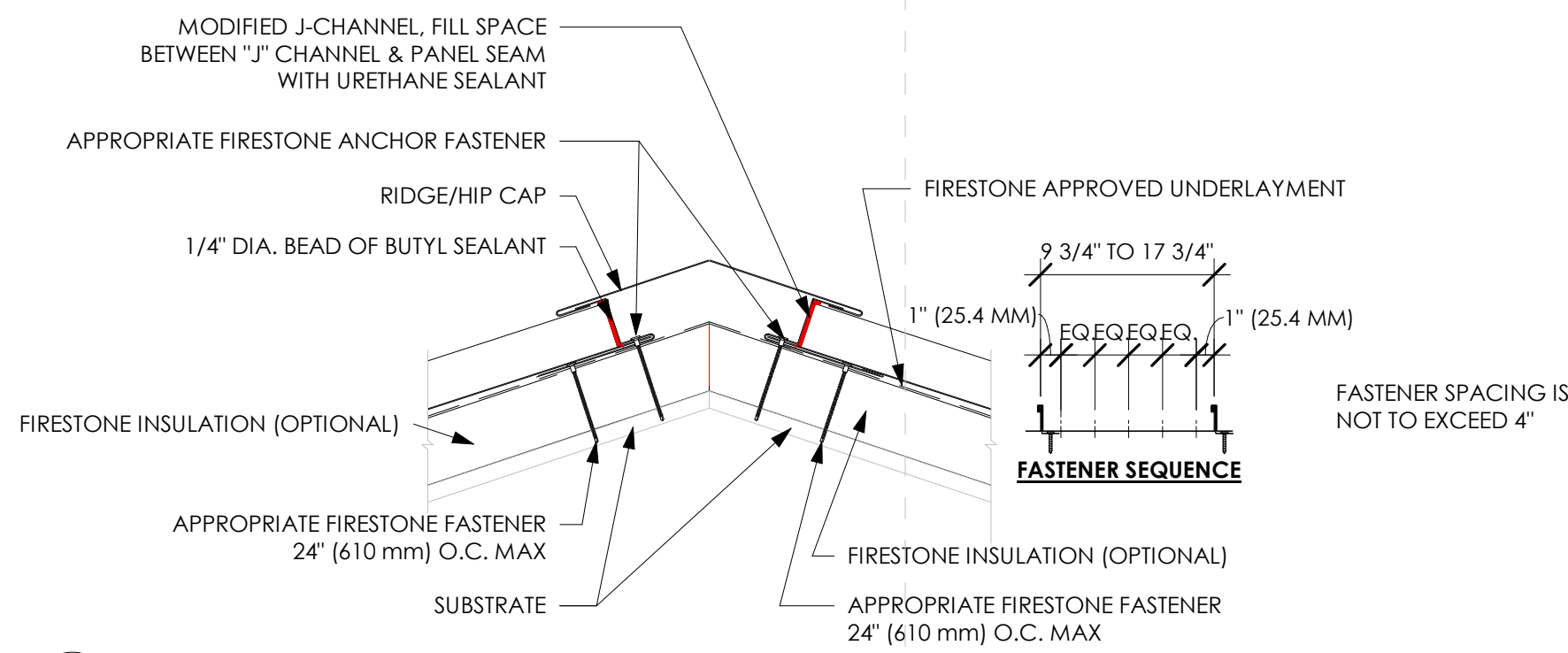
RELEASE DATE:  
11.29.2021

REVISIONS:  
REV. DATE DESCRIPTION

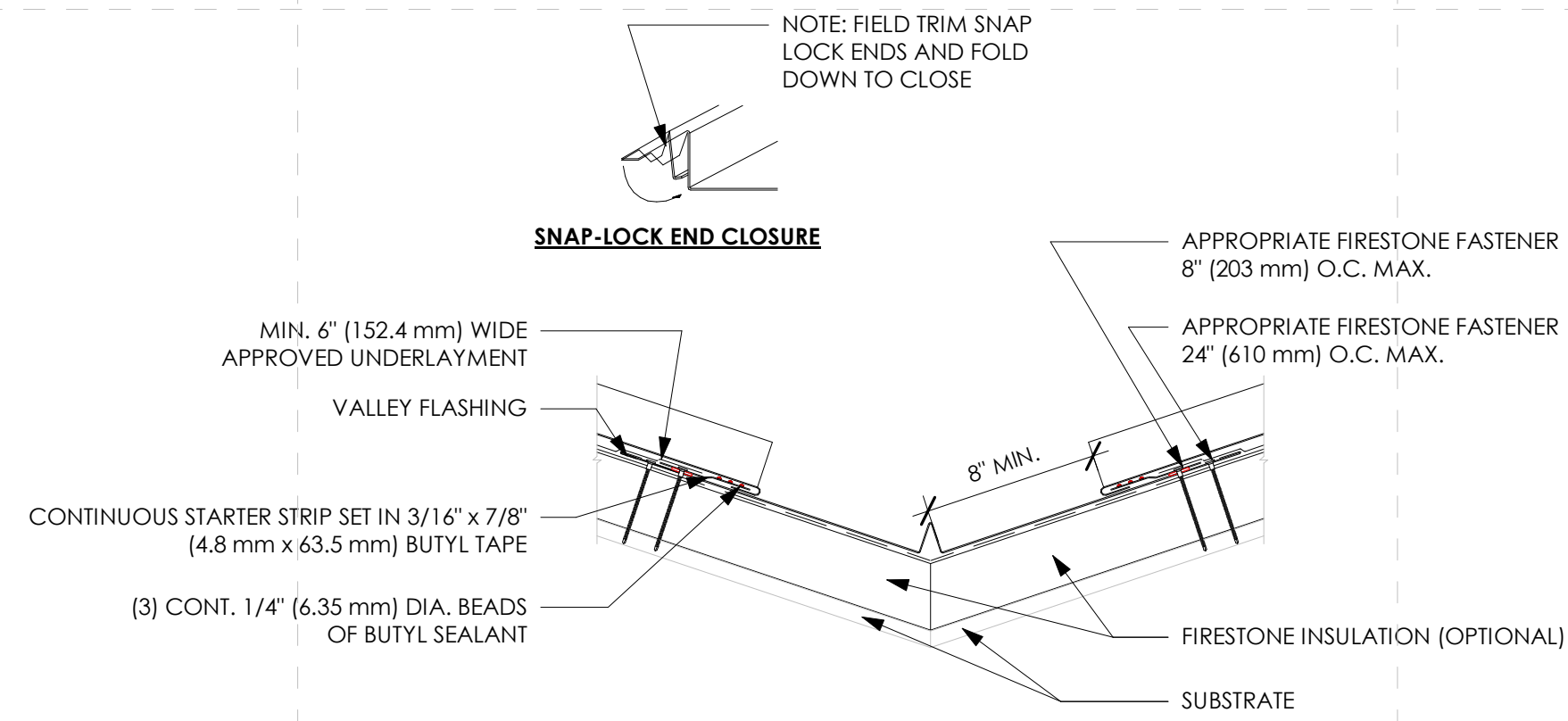
SET NO.

SHEET NO.

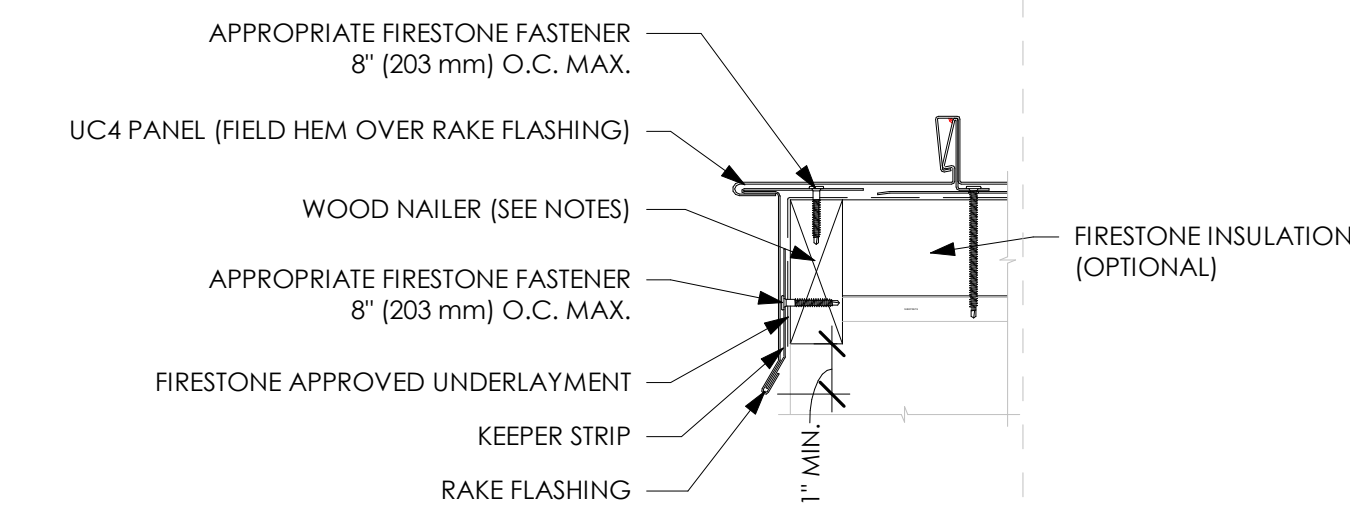
**A100**  
OF XX



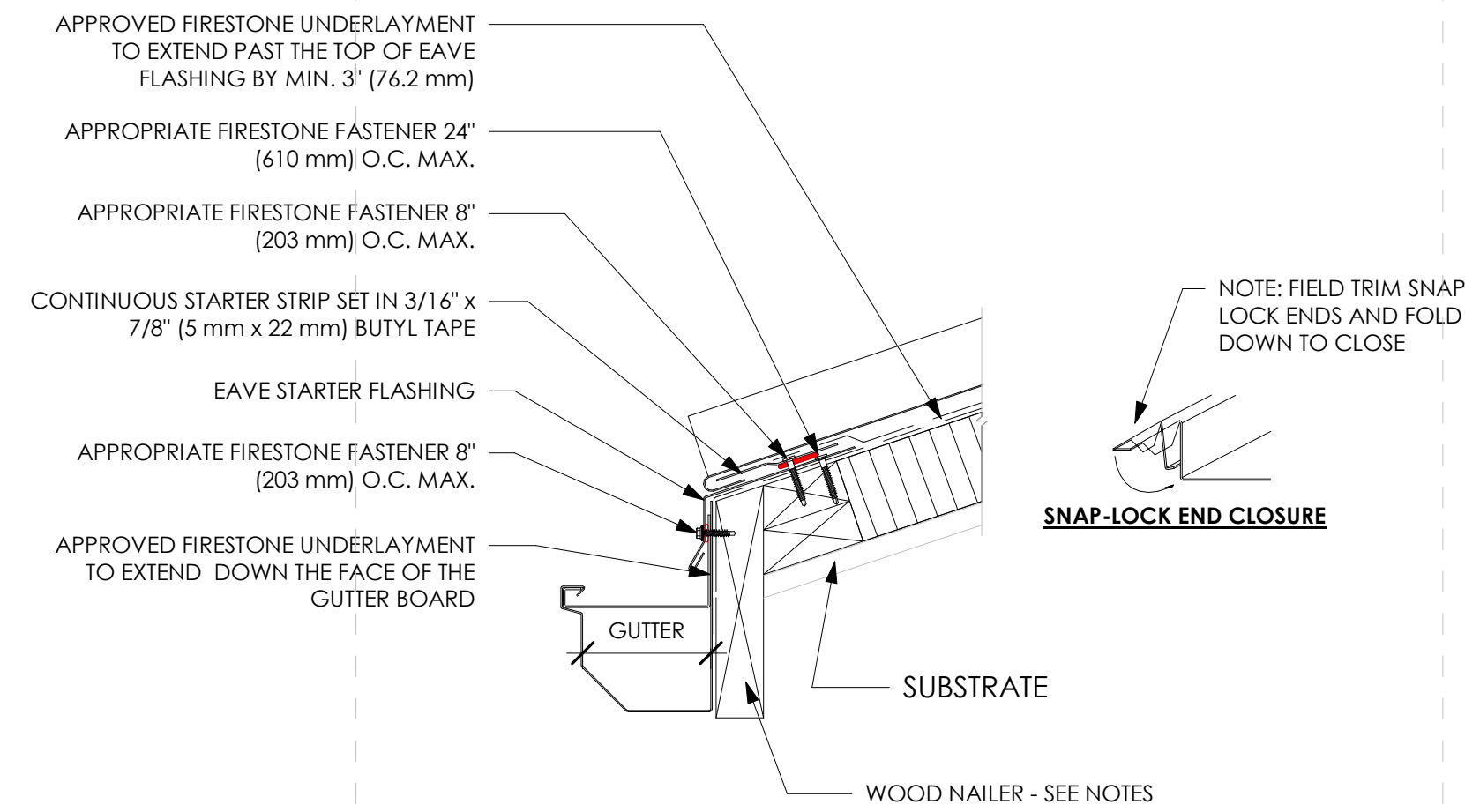
8 ROOF RIDGE  
3" = 1'-0"



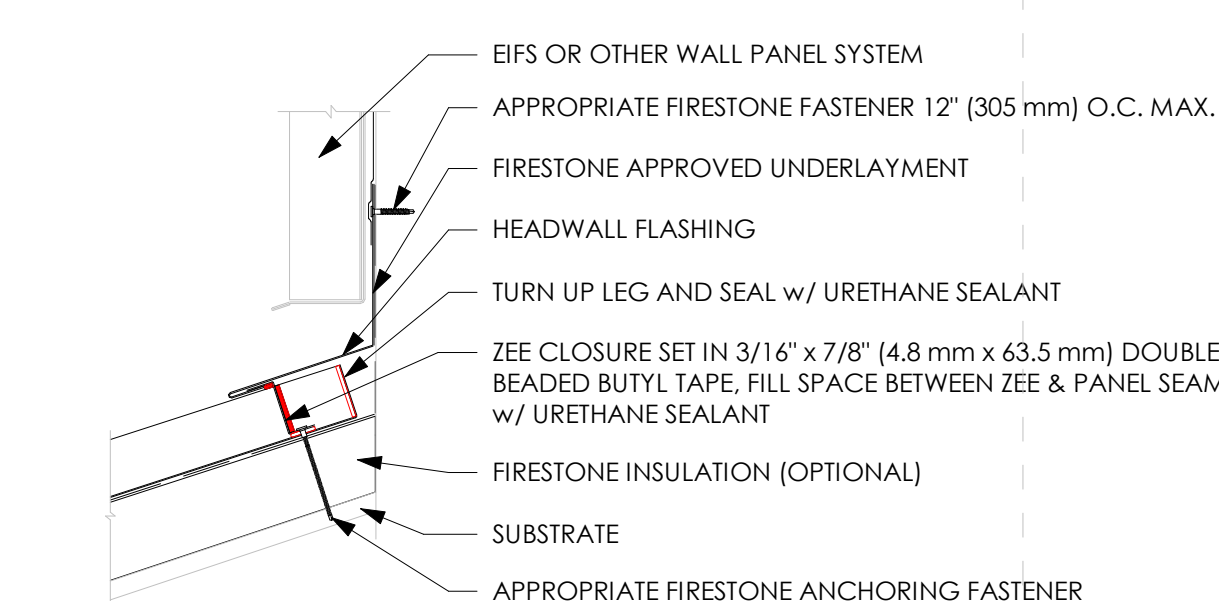
9 ROOF VALLEY  
3" = 1'-0"



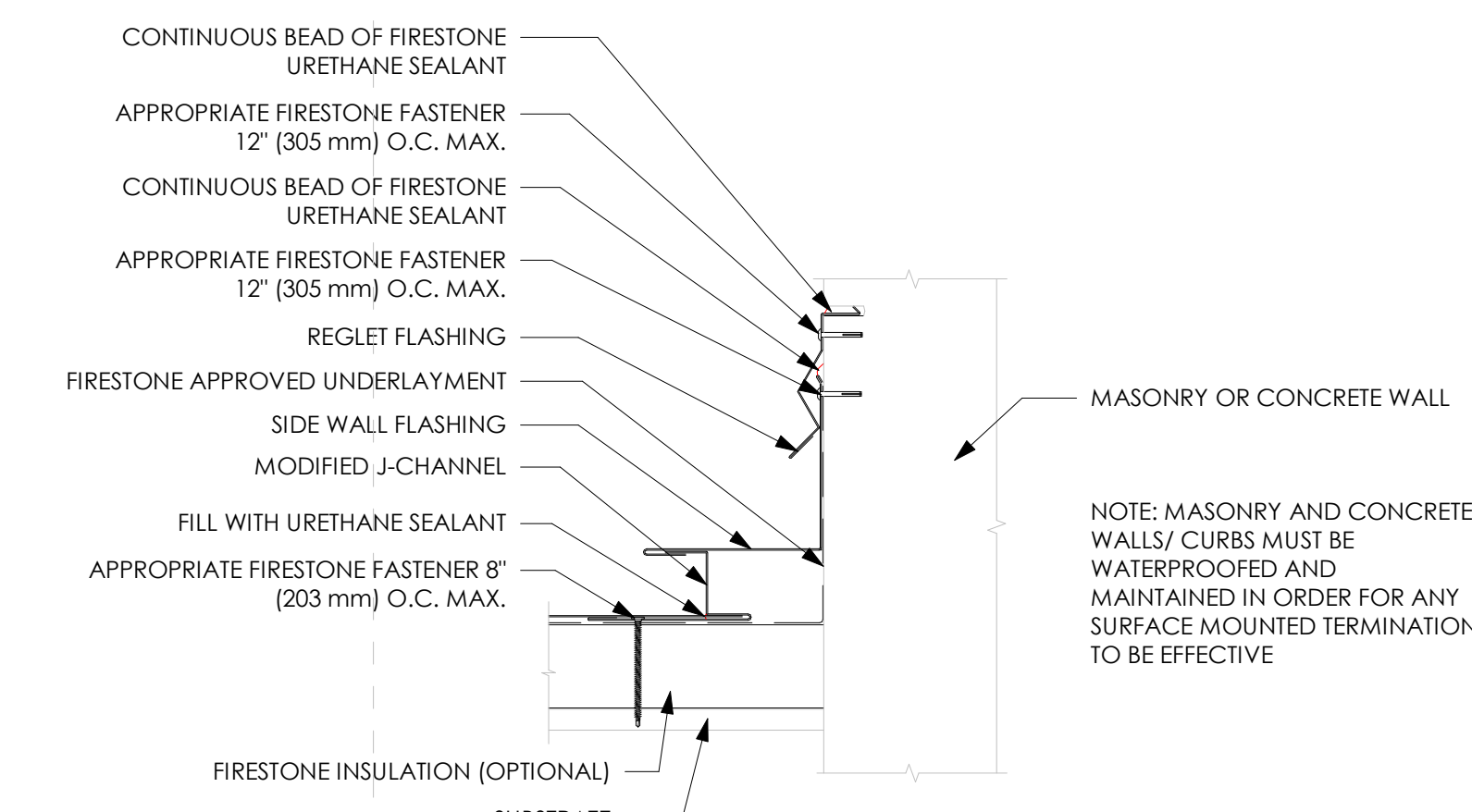
6 ROOF FASCIA  
3" = 1'-0"



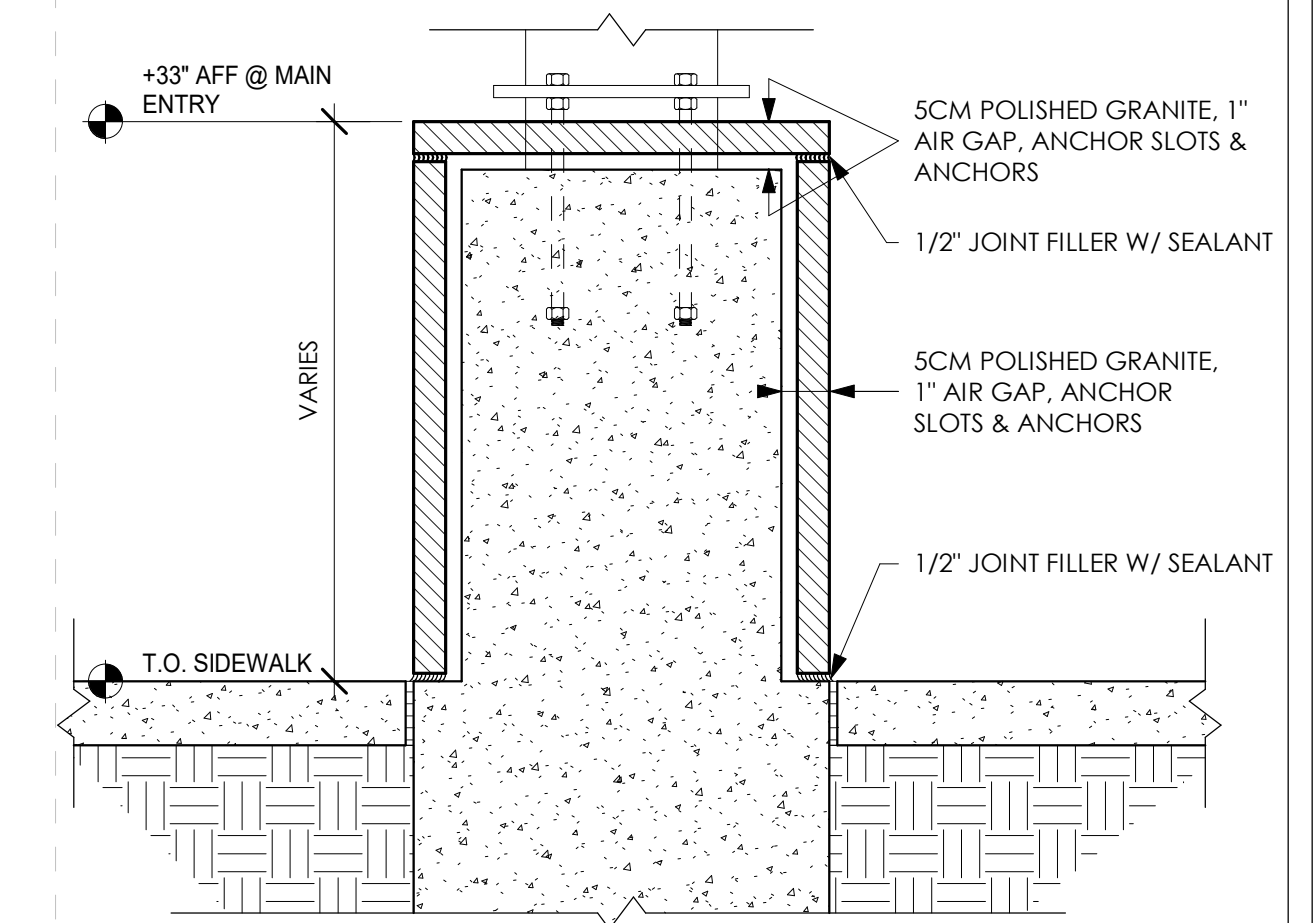
7 ROOF EDGE/GUTTER  
3" = 1'-0"



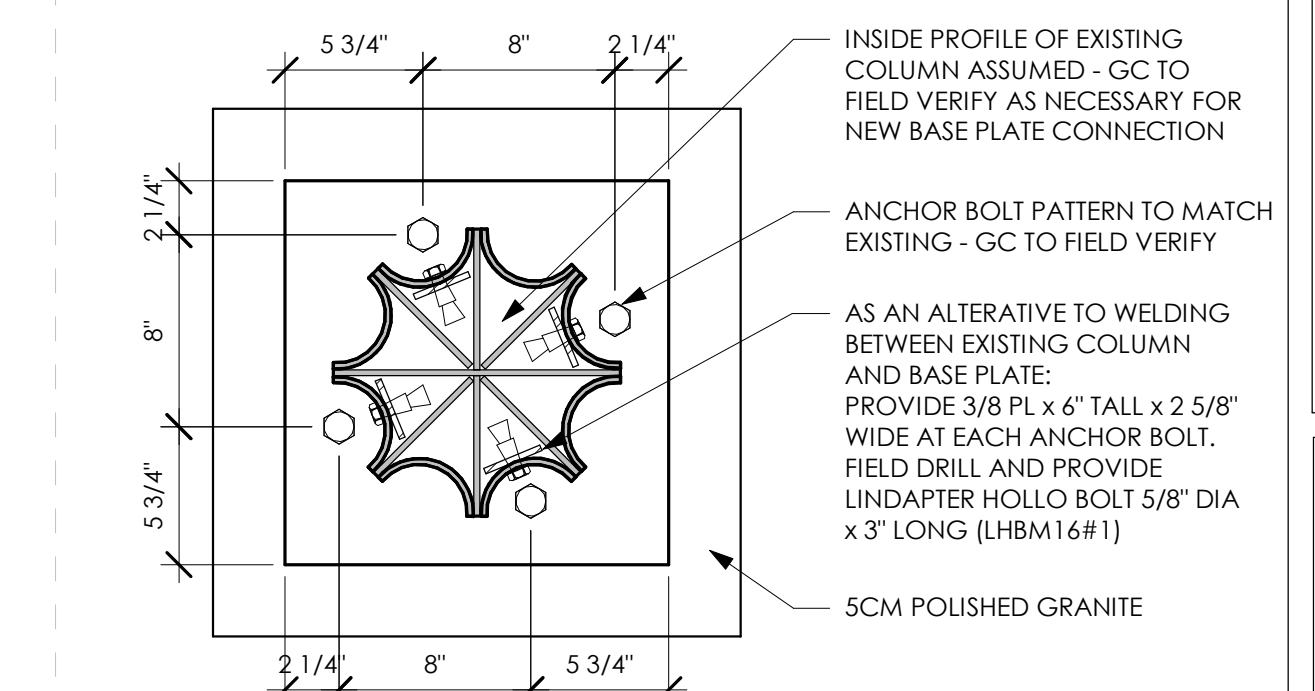
4 ROOF/SILL FLASHING  
3" = 1'-0"



5 ROOF/WALL FLASHING  
3" = 1'-0"



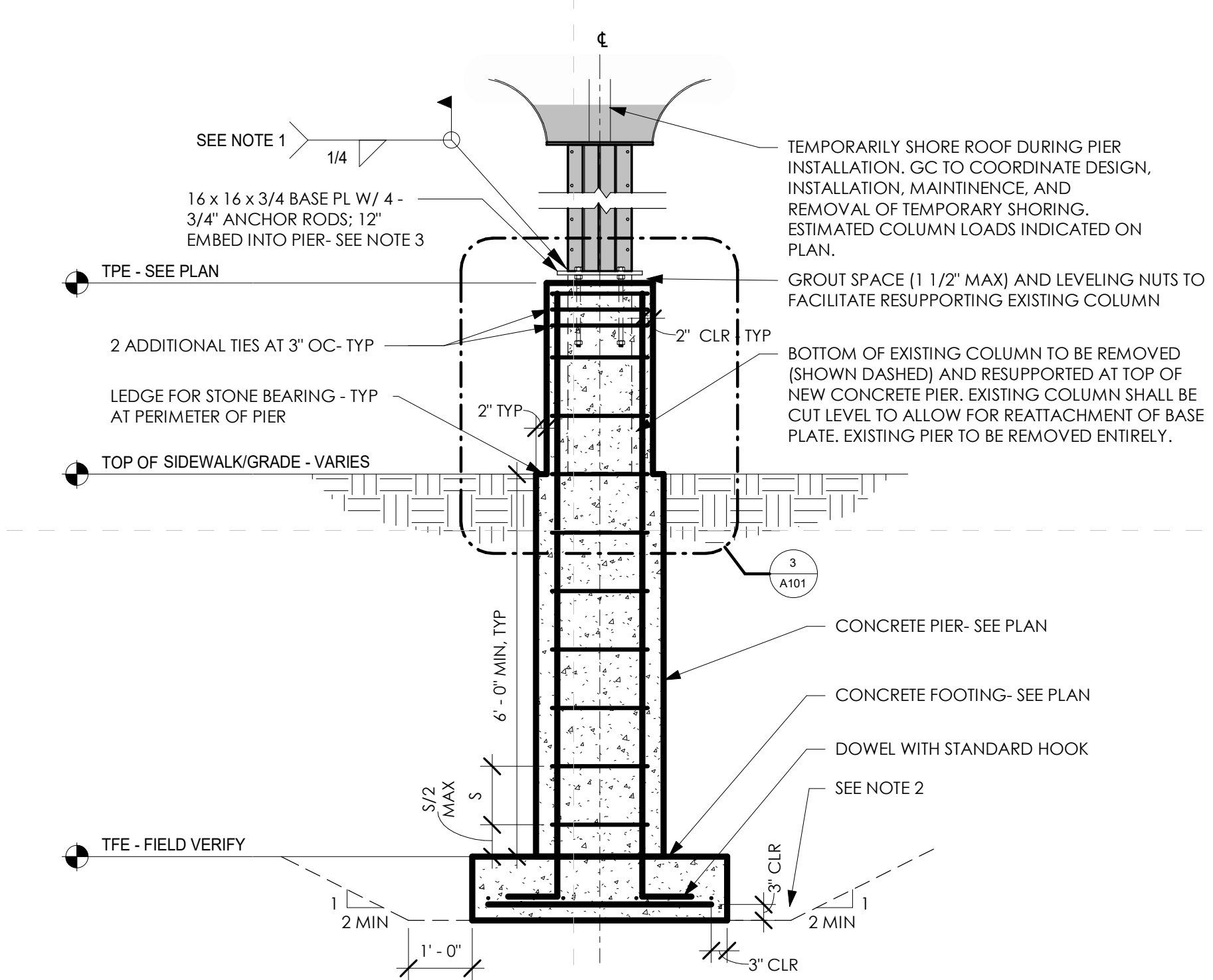
3 COLUMN BASE FINISH  
1" = 1'-0"



2 PLAN DETAIL AT COLUMN BASE PLATE  
1 1/2" = 1'-0"

**GENERAL ROOFING/FLASHING NOTES**

1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
2. REFER TO TECHNICAL INFORMATION SHEETS FOR FASCIA SIZES, ACCESSORIES AND FINISHES AVAILABLE.
3. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200LB PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
4. REFER TO FIRESTONE TECHNICAL DATABASE FOR FASTENER COMPATIBILITY WITH METAL.
5. REFER TO THE FIRESTONE TECHNICAL DATABASE FOR HEM LENGTH AND REQUIRED DISTANCE BETWEEN THE PANEL AND CLEAT.
6. APPLICATION DETAILS ARE FOR ILLUSTRATION PURPOSES ONLY AND MAY NOT BE APPROPRIATE FOR ALL BUILDING DESIGNS AND CONDITIONS.
7. FIELD NOTCH ZEE CLOSURES. SET ZEE CLOSURE IN BUTYL TAPE AND SEAL AROUND REMAINING EDGES OF ZEE WITH URETHANE SEALANT.
8. FOR WARRANTY PERIODS GREATER THAN 20YEARS, REFER TO METAL QUICK SPECS FOR MINIMUM REQUIREMENTS.



**NOTES:**

1. COMPOSITION OF EXISTING METAL IS UNKNOWN. METALLURGY ANALYSIS SHALL BE COMPLETED PRIOR TO WELDING TO DETERMINE IF ANY SPECIAL WELDING PROCEDURES ARE NECESSARY. SEE PLAN DETAIL OF BASE PLATE FOR ALTERNATIVE CONNECTION.
2. DURING EXCAVATION, BEDROCK MAY BE ENCOUNTERED. NOTIFY ARCH AND ENGINEER IF FOUND.
3. TOP OF ANCHOR BOLTS TO MATCH EXISTING. AFTER INSTALLATION, CUT ANCHOR BOLT FLUSH TO TOP OF NUT. TACK WELD NUT TO ANCHOR BOLT. PAINT TO MATCH.

1 SECTION AT EXISTING COLUMN  
1/2" = 1'-0"

NOT FOR CONSTRUCTION  
11.29.2021

SHEET TITLE:  
SECTIONS & DETAILS

This sheet may not be used without the written consent of Architecturedvantage.com. Drawing scales apply to full scale sheets.

**SLC DEPOT CANOPY REPAIRS**

506 W MICHIGAN ST, DULUTH, MN 55802

PROJECT NO: 2117

DRAWN BY: SN

CHECKED BY: KT

RELEASE DATE: 11.29.2021

REVISIONS:	REV.	DATE	DESCRIPTION

SET NO.

SHEET NO. **A101**  
OF XX