

MAR 24 2003

COUNCIL COPY

To City Council _____

Pub. Doc. No. 03-0324-15

Referred to _____

RAMSEY VILLAGE
NEIGHBORHOOD

*As amended
Ord. 9635 & 9753*



DOCUMENTS
of
IMPLEMENTATION

Prepared for
Spirit Valley Citizens Neighborhood
Development Association, Inc.

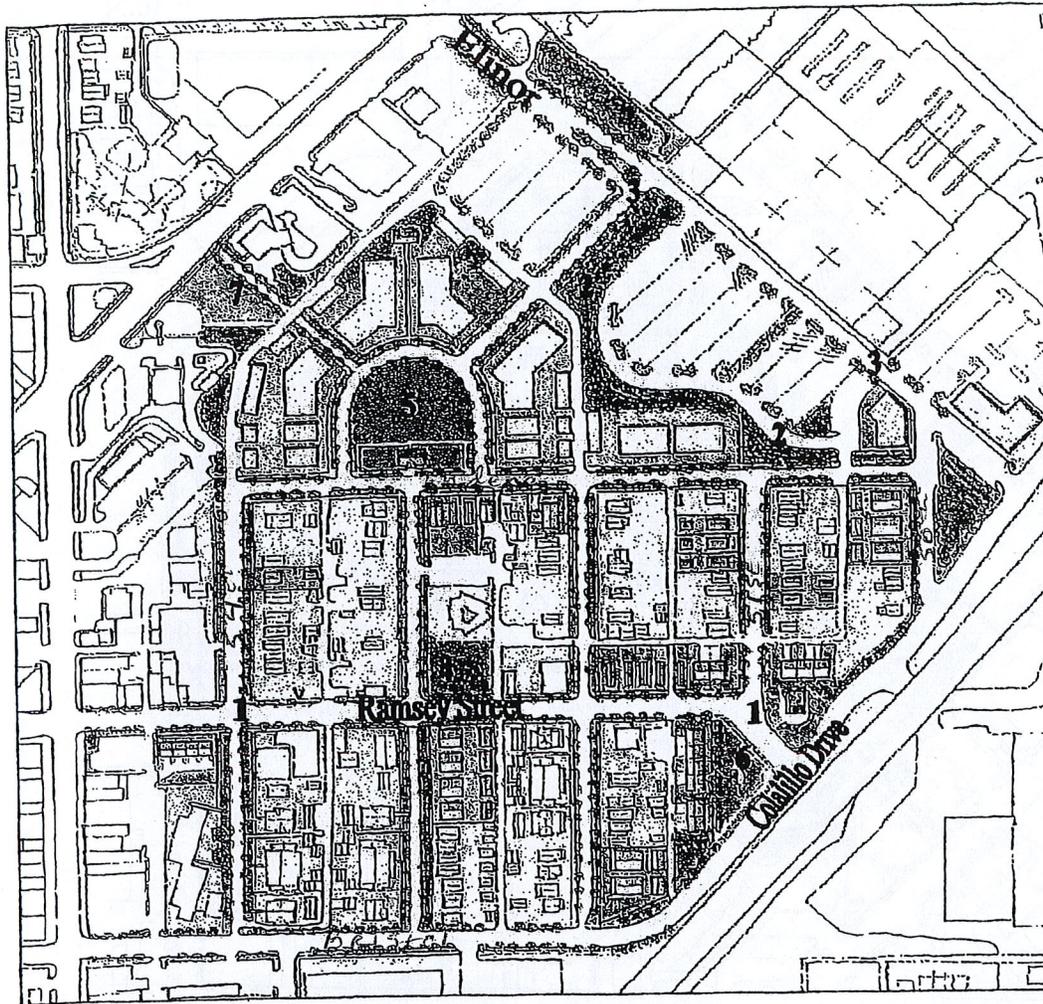
DULUTH, MINNESOTA
March 2003



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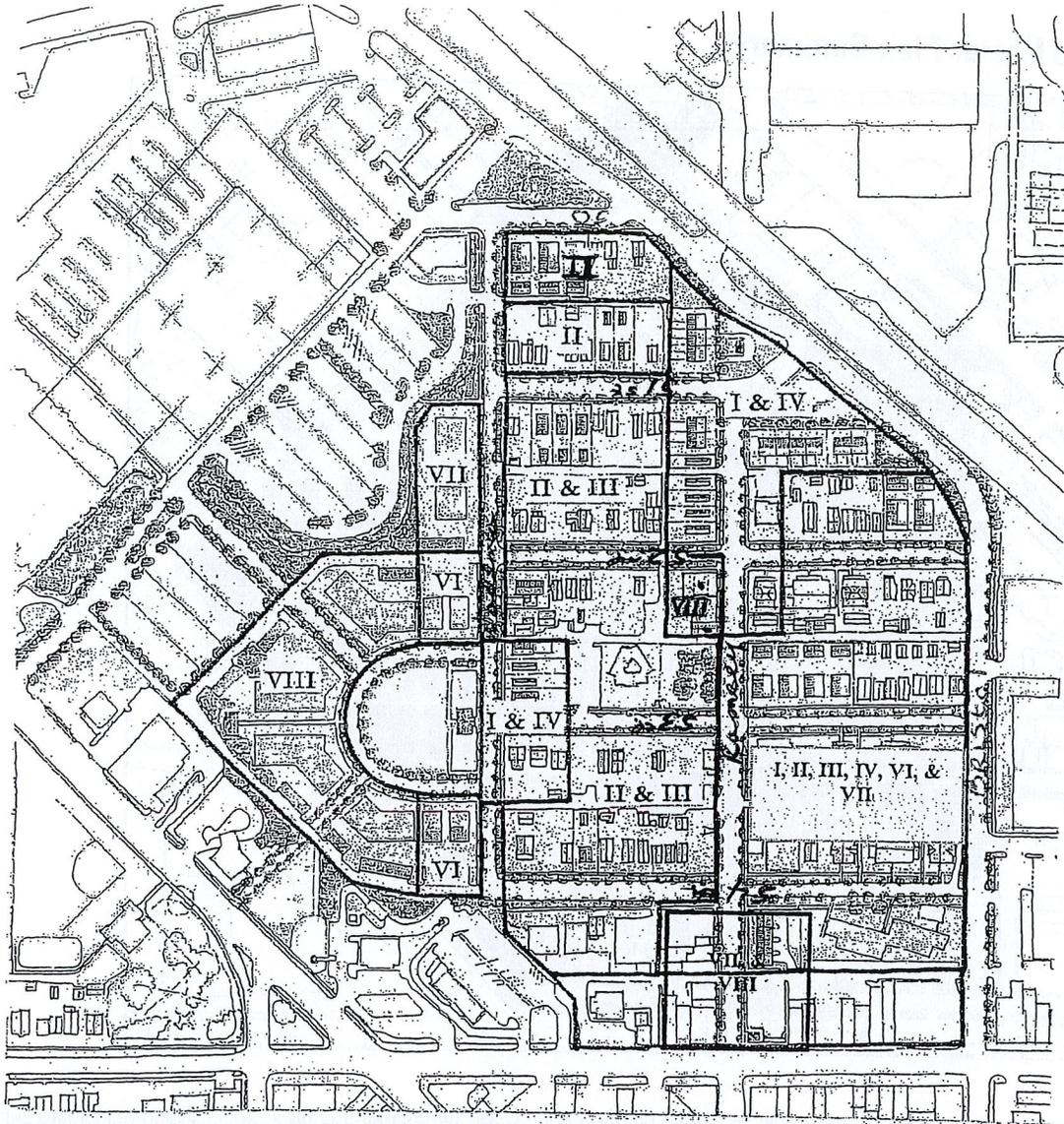
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Revised Master Plan Summary



1. Ramsey Street is proposed to be rebuilt as a more neighborhood scale, pedestrian-friendly street including welcoming signage at each end announcing arrival in the Ramsey Village. Larger scale residential or mixed used buildings facing Ramsey are planned for each entrance to create a sense of "arrival" into the residential neighborhood.
2. A grass covered berm, with significant shrub and tree plantings along with a decorative fence is necessary to buffer the residential area from Menard's facility. No entrances from the Menard parking lot will connect to the residential street of Wadena.
3. Elinor Street is suggested to be an entrance to the Menard facility from Grand Avenue and exit on to Colalillo Drive, with no access to Wadena Street.
4. The site on Ramsey Street alongside of Ramsey Manor is proposed to be a gentle use "pocket park" for all area residents.
5. A new neighborhood park terminates 53rd Avenue West North of Wadena Street, including a small community building.
6. Additional green space is realized along Colalillo Drive on the South side of Ramsey Street as redevelopment occurs in that area. Passive green space with trees and native plantings should be developed in the block at the SW corner of 51st Avenue West and Ramsey Street from the alley to Colalillo Drive.
7. A lighted, gravel walkway at least 15 feet wide is proposed from the new neighborhood park North of Wadena to Grand Avenue creating neighborhood access to the facilities and activities of Memorial Park.
8. Implementation of a variety of new housing units will occur on an incremental basis throughout the neighborhood.

Regulating Plan

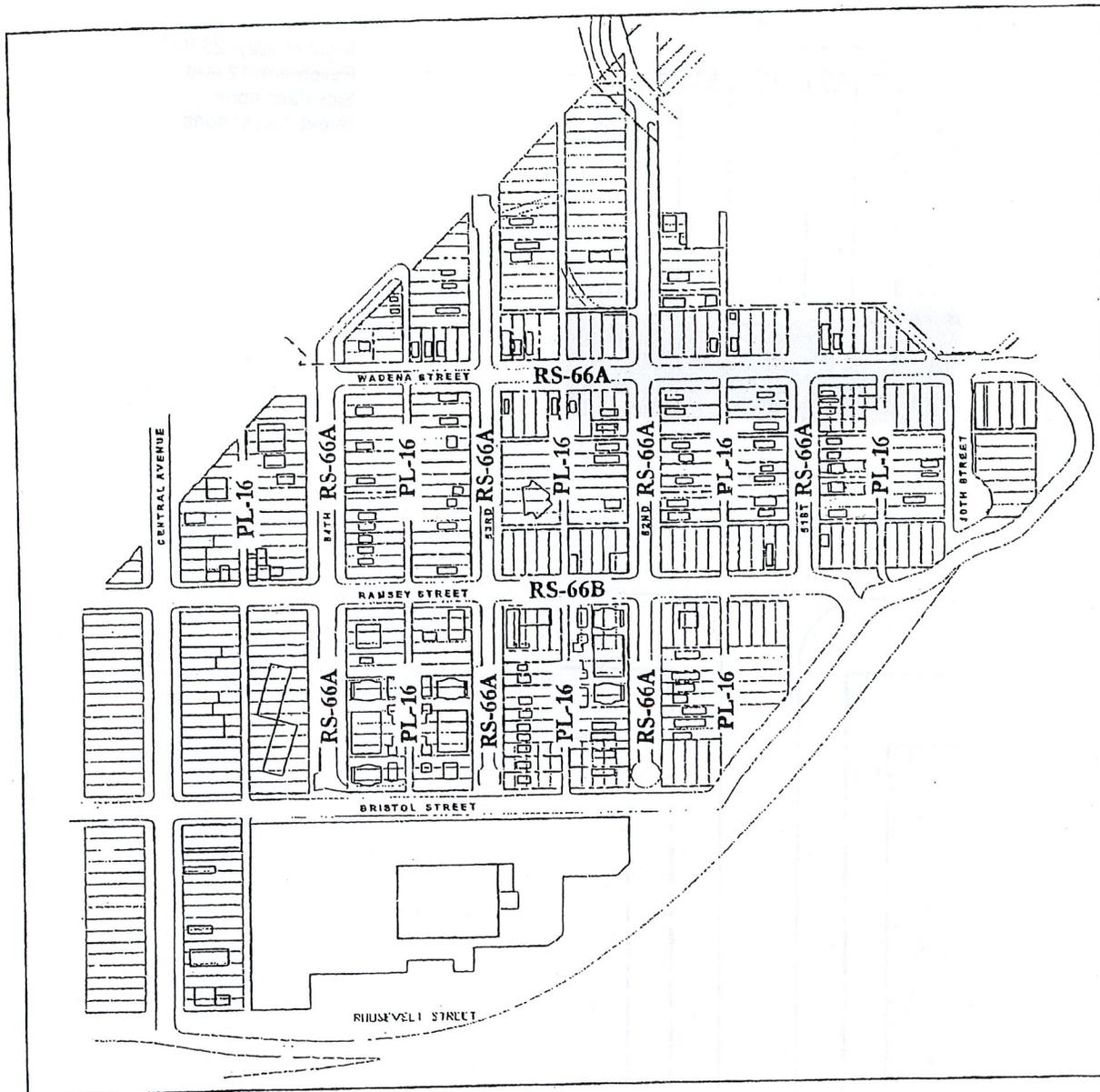


1. Reference applicable Urban Standards (shown in Roman Numerals above) for designated building types.
2. Maximum lot width South of Ramsey Street shall be sixty feet (60').
3. Maximum lot width North of Ramsey Street shall be fifty feet (50').
4. Building Type V - Accessory Unit - is allowed on all lots.
5. Residential units built North of Ramsey Street should front either
 - i. Wadena Street I built adjacent to Wadena or
 - ii. The new neighborhood park
6. "Main street" building types should be located at the SE and SW corner of 54th Avenue West and Ramsey Street
7. Passive green space with trees and native plantings should be developed in the block at the SW corner of 51st Avenue West and Ramsey Street from the alley to Colalillo Drive.

amended
 109635
 9753 II instead of IV

A-5 10

Thoroughfare Plan



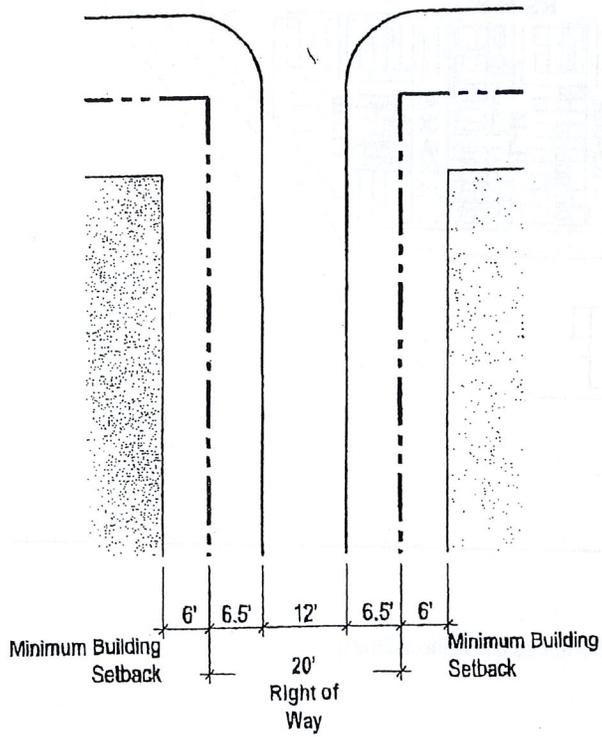
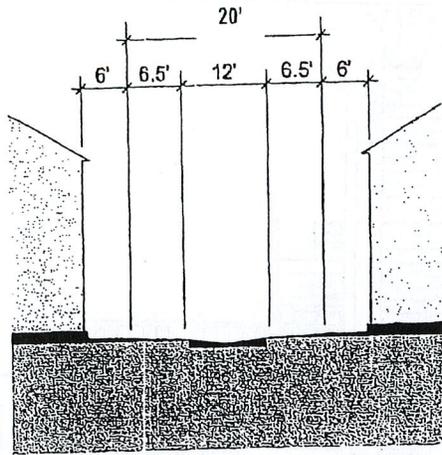
PL-16 Paved Alley (typical)

RS-66A Residential Street (50th, 51st, 52nd, 53rd, 54th Avenues and Wadena Street).

RS-66B Residential Street (Ramsey Street)

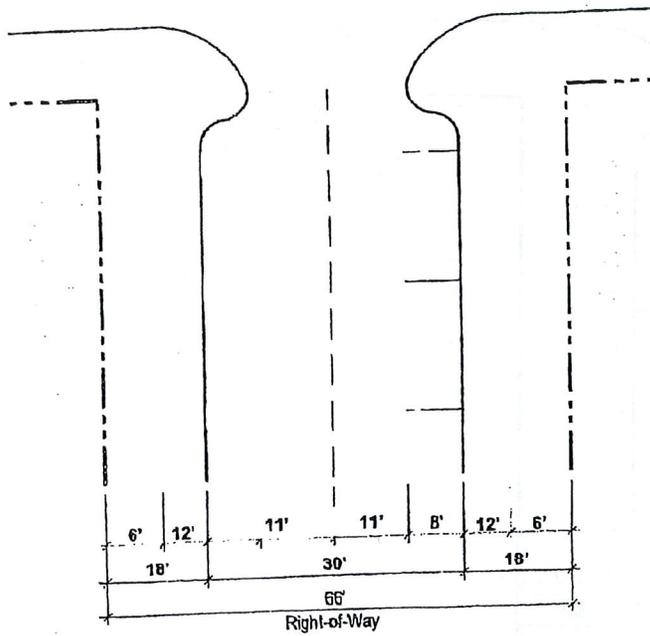
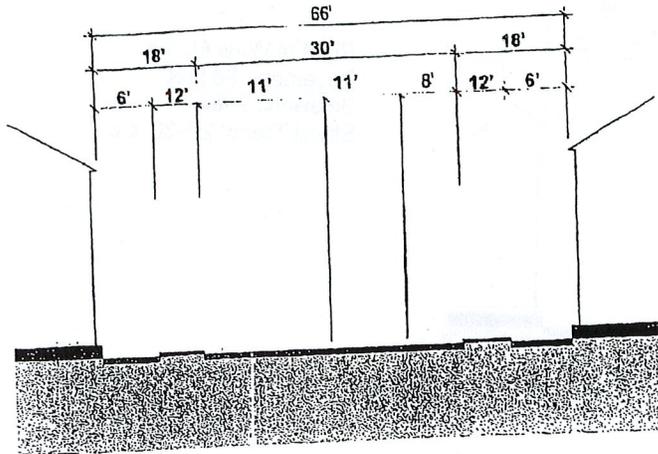
**Type PL-16
Paved Lane**

Right of Way: 20 feet
Pavement: 12 feet
Sidewalk: none
Street Trees: none



**Type RS-66A
Residential Street**

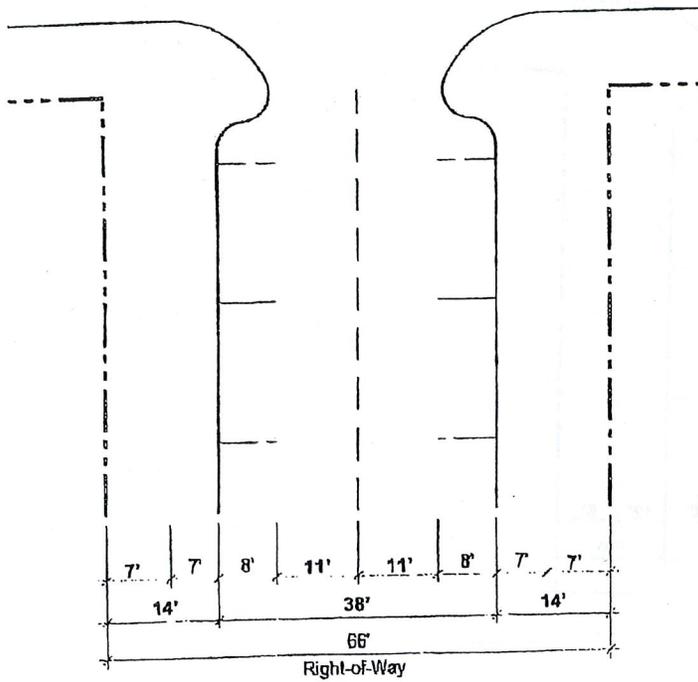
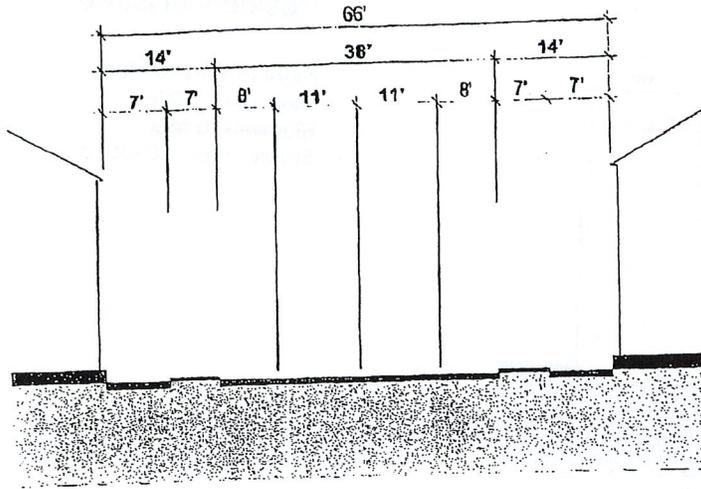
Right of Way: 66 feet
 Pavement: 30 feet
 Sidewalk: 6 feet
 Street Trees: 20'-30' o.c.



11/10

Type RS-66B
Ramsey Street

Right of Way: 66 feet
Pavement: 38 feet
Sidewalk: 7 feet
Street Trees: 20'-30' o.c.



Urban Standards

Urban Standards will guide the use, placement, height, bulk, and massing for private development of blocks and parcels. The standards will also physically determine build-to and/or setback criteria, encroachments, location of parking and any specific site features related to building types (e.g., outdoor courtyards, plazas, etc.).

The standards are prepared for a range of building types including mixed-use buildings, small and large apartments/condominiums, attached townhouses, accessory units, commercial buildings and other types as needed. The architectural massing and proportion of each building type are illustrated.

Lot size. The minimum allowable front property line width for a buildable lot shall be thirty (30) feet with the minimum total square footage of a buildable lot being 3000 square feet.

Accessory Units. All accessory units shall be located adjacent to and accessible by an alley with a minimum section of twenty (20) feet.

*5' near city standard
where
adjacent*

- Type I Village House
- Type II Detached Single Family House
- Type III Twin House
- Type IV Townhouse
- Type V Accessory Unit above two-car garage
- Type VI Four Unit Apartment
- Type VII Eight Unit Apartment
- Type VIII Mixed Use Building with residential & commercial/retail
- Type IX Parking Building

*(Note: no allowance
for eave/overhang
into setbacks)*

Type I Village House

Use and Height

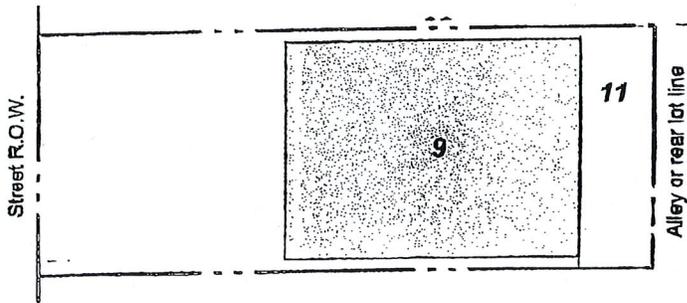
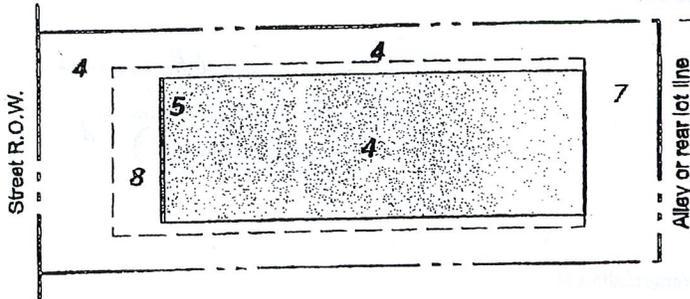
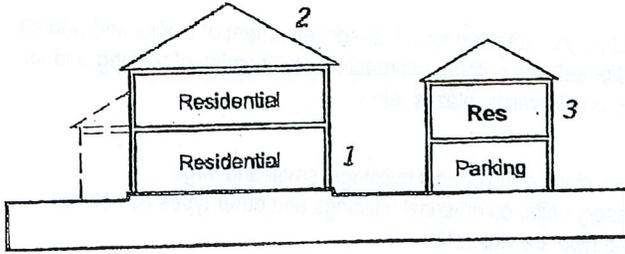
1. Uses of building shall be as shown here.
2. Maximum building height shall be 2 stories. Building height shall be measured by the number of structural floors from the street elevation. The building shall have a first floor elevation between 18" and 36" above front elevation grade level. Each building's first story shall not exceed 12 feet in height and the second floor shall not exceed 10 feet in height, measured from floor to ceiling.
3. A residential use of not more than 720 square feet shall be permitted as an accessory unit above a detached garage. Occupancy of an accessory unit shall not require on-site parking. Access to accessory unit will always be made via interior stairwell.

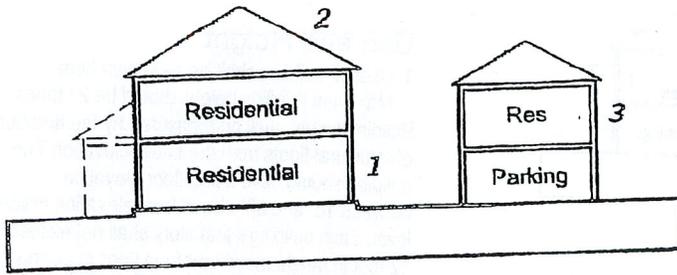
Placement & Projections

4. Buildings shall be set within lots relative to the property lines as shown here.
Minimum frontyard setback - ten (10) feet.
Minimum sideyard setback - five (5) feet.
Aggregate sideyard setback - ten (10) feet
Corner sideyard setback - nine (9) feet
5. Building street facades shall extend along the lot width as designated here.
6. Attached garages shall adhere to the side yard setback of the principal building.
7. Masonry garden walls, wrought iron fencing shall be built or hedges shall be planted along the property lines to define the street's edge.
8. Balconies, stoops, open porches, bay windows, covered walkways and raised door yards are permitted within the shaded areas as shown here. Maximum depth of any projection shall be no more than 12' feet from the building wall. Covered walkways between the principal building and garages are permitted.

Garage & Parking

9. A minimum of one (1) parking garage shall be provided within the shaded area shown here. Additional parking may be provided in attached or detached garages, or on paved concrete parking pads.
10. Private parking spaces shall be no less than 10 feet by 17 feet with access to a paved lane.
11. Trash areas shall be enclosed with fencing and located within the shaded areas as shown here.
12. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.

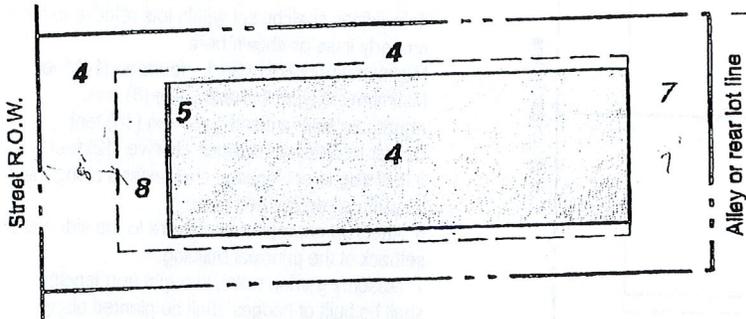




Type II Detached House

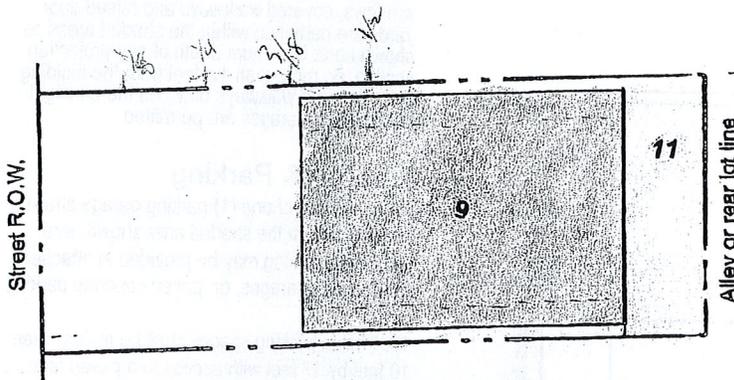
Use and Height

1. Uses of building shall be as shown here.
2. Maximum building height shall be 2 stories. Building height shall be measured by the number of structural floors from the street elevation. The building shall have a first floor elevation between 18" and 36" above front elevation grade level. Each building's first story shall not exceed 12 feet in height and the second floor shall not exceed 10 feet in height, measured from floor to ceiling.
3. A residential use of not more than 720 square feet shall be permitted as an accessory unit above a detached garage. Occupancy of an accessory unit shall not require on-site parking. Access to accessory unit will always be made via interior stairwell.



Placement & Projections

4. Buildings shall be set within lots relative to the property lines as shown here. Minimum frontyard setback - fourteen (14) feet. Minimum sideyard setback - five (5) feet. Aggregate sideyard setback - ten (10) feet. Corner lot sideyard - twelve (12) feet.
5. Building street facades shall extend along the lot width as designated here.
6. Attached garages shall adhere to the side yard setback of the principal building.
7. Masonry garden walls, wrought iron fencing shall be built or hedges shall be planted along the property lines to define the street's edge.
8. Balconies, stoops, open porches, bay windows, covered walkways and raised door yards are permitted within the shaded areas-as shown here. Maximum depth of any projection shall be no more than 12' feet from the building wall. Covered walkways between the principal building and garages are permitted.



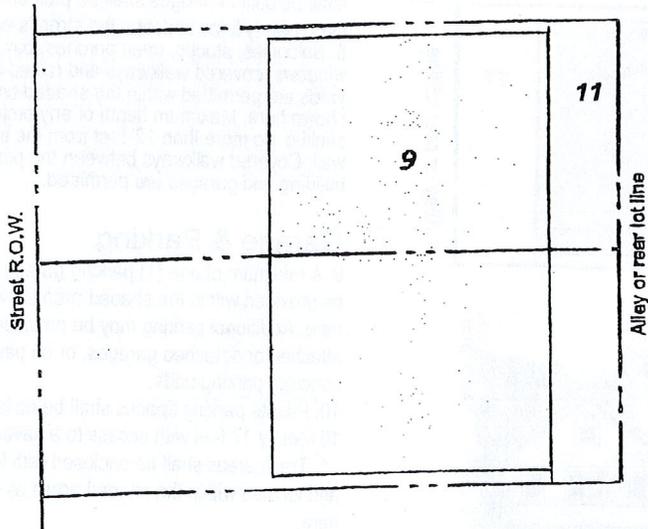
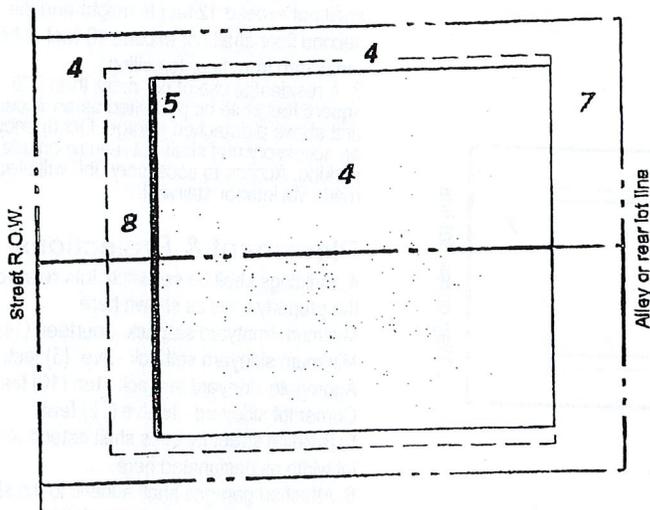
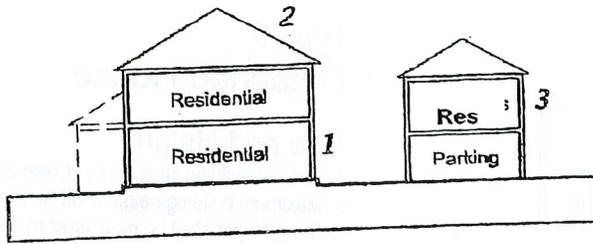
Garage & Parking

9. A minimum of one (1) parking garage shall be provided within the shaded area shown here. Additional parking may be provided in attached or detached garages, or on paved concrete parking pads.
10. Private parking spaces shall be no less than 10 feet by 17 feet with access to a paved lane.
11. Trash areas shall be enclosed with fencing and located within the shaded areas as shown here.
12. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.



Rear 5/8' side yard
5' near City street
5' side yard

Type III Twin House



Use and Height

1. Uses of building shall be as shown here.
2. Maximum building height should be 2 stories. Building height shall be measured by the number of structural floors from the street elevation. The building should have a first floor elevation between 18" and 36" above front elevation grade level. Each building's first story shall not exceed 12 feet in height measured from floor to ceiling.
3. A residential use of not more than 720 square feet shall be permitted as an accessory unit above a detached garage. Occupancy of an accessory unit shall not require on-site parking. Access to accessory unit will always be made via interior stairwell.

Placement & Projections

4. Buildings shall be set within lots relative to the property lines as shown here.
Minimum frontyard setback - fourteen (14) feet.
Minimum sideyard setback - five (5) feet.
Aggregate sideyard setback - ten (10) feet
Corner lot sideyard setback - twelve (12) feet
5. Building street facades shall extend along the lot width as designated here.
6. Attached garages shall adhere to the side yard setback of the principal building.
7. Masonry garden walls, wrought iron fencing shall be built or hedges shall be planted along the property lines to define the street's edge.
8. Balconies, stoops, open porches, bay windows, covered walkways and raised door yards are permitted within the shaded areas as shown here. Maximum depth of any projection shall be no more than 12 feet from the building wall. Covered walkways between the principal building and garages are permitted.

Garage & Parking

9. A minimum of one (1) parking garage shall be provided within the shaded area shown here. Additional parking may be provided in attached or detached garages, or paved concrete parking pads.
10. Private parking spaces shall be no less than 10 feet by 17 feet with access to a paved lane.
11. Trash areas shall be enclosed with fencing and located within the areas as shown here.
12. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.

Type IV Town House

Use and Height

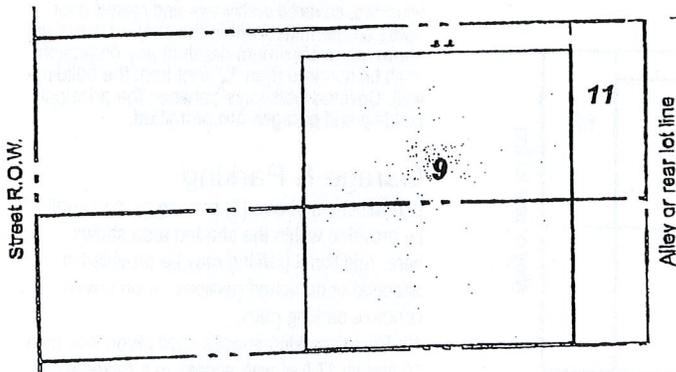
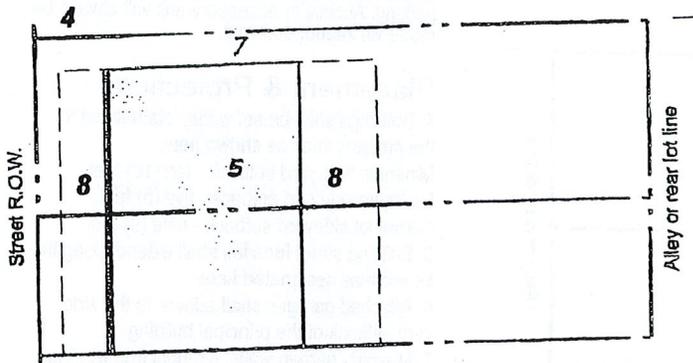
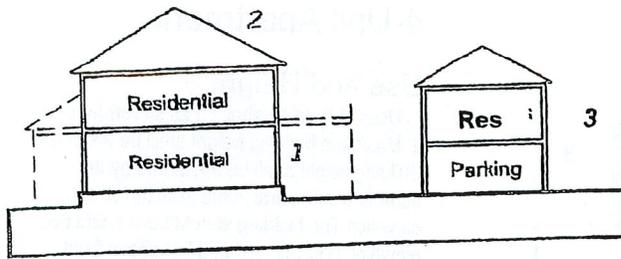
1. Uses of building shall be as shown here.
2. Maximum building height shall be 2 stories. Building height shall be measured by the number of structural floors from the street elevation. The building shall have a first floor elevation between 18" and 36" above front elevation grade level. Each building's first story shall not exceed 12 feet in height and the second floor should not exceed 10 feet in height, measured from floor to ceiling.
3. A residential use of not more than 720 square feet shall be permitted as an accessory unit above a detached garage. Occupancy of an accessory unit should not require on-site parking. Access to accessory unit will always be made via interior stairwell.

Placement & Projections

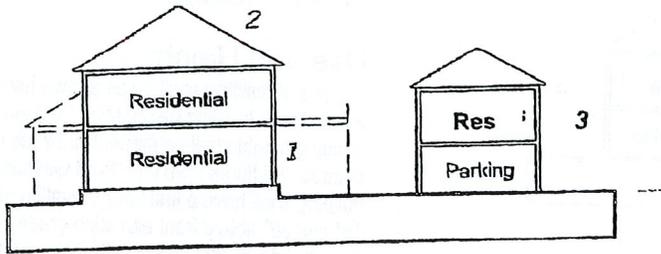
4. Buildings shall be set within lots relative to the property lines as shown here. Minimum frontyard setback - ten (10) feet. Corner lot sideyard setback - nine (9) feet
5. Building street facades shall extend along the lot width as designated here.
6. Attached garages shall adhere to the side yard setback of the principal building.
7. Masonry garden walls, wrought iron fencing shall be built or hedges shall be planted along the property lines to define the street's edge.
8. Balconies, stoops, open porches, bay windows, covered walkways and raised door yards are permitted within the shaded areas as shown here. Maximum depth of any projection shall be no more than 12 feet from the building wall. Covered walkways between the principal building and garages are permitted.

Garage & Parking

9. A minimum of one (1) parking garage shall be provided within the shaded area shown here. Additional parking may be provided in attached or detached garages, or paved concrete pads.
10. Private parking spaces shall be no less than 10 feet by 17 feet with access to a paved lane.
11. Trash areas shall be enclosed with fencing and located within the shaded areas as shown here.
12. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.

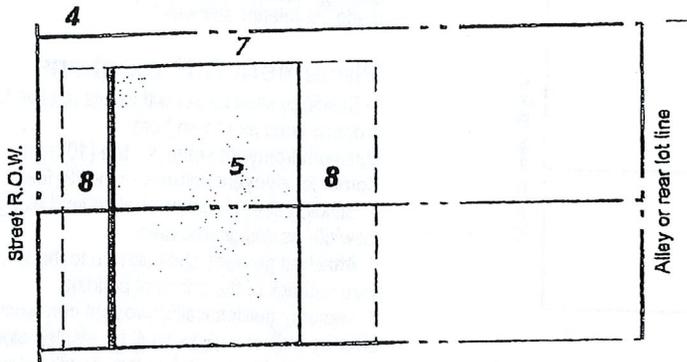


Type VI 4-Unit Apartment



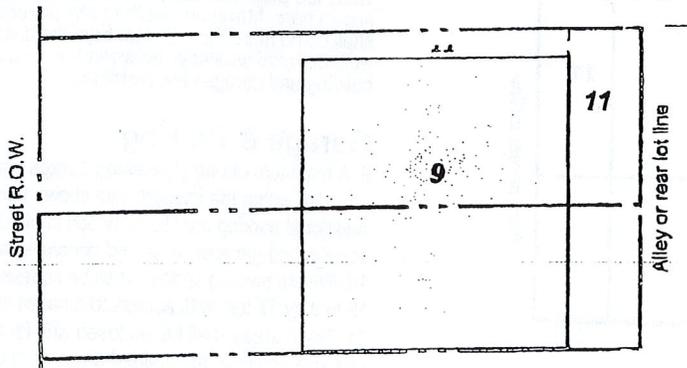
Use and Height

1. Uses of building shall be as shown here.
2. Maximum building height shall be 2 stories. Building height shall be measured by the number of structural floors from the street elevation. The building should have a first floor elevation between 18" and 36" above front elevation grade level. Each building's first story shall not exceed 12 feet in height and the second floor should not exceed 10 feet in height, measured from floor to ceiling.
3. A residential use of not more than 720 square feet shall be permitted as an accessory unit above a detached garage. Occupancy of an accessory unit should not require on-site parking. Access to accessory unit will always be made via interior stairwell.



Placement & Projections

4. Buildings shall be set within lots relative to the property lines as shown here. Minimum frontyard setback - ten (10) feet. Minimum sideyard setback - five (5) feet. Corner lot sideyard setback - nine (9) feet.
5. Building street facades shall extend along the lot width as designated here.
6. Attached garages shall adhere to the side yard setback of the principal building.
7. Masonry garden walls, wrought iron fencing shall be built or hedges shall be planted along the property lines to define the street's edge.
8. Balconies, stoops, open porches, bay windows, covered walkways and raised door yards are permitted within the shaded areas as shown here. Maximum depth of any projection shall be no more than 12 feet from the building wall. Covered walkways between the principal building and garages are permitted.



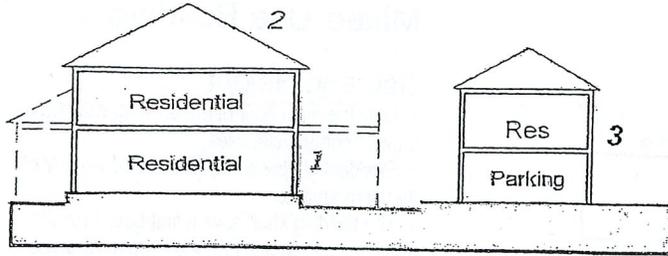
Garage & Parking

9. A minimum of one (1) parking garage shall be provided within the shaded area shown here. Additional parking may be provided in attached or detached garages, or on paved concrete parking pads.
10. Private parking spaces shall be no less than 10 feet by 17 feet with access to a paved lane.
11. Trash areas shall be enclosed with fencing and located within the shaded areas as shown here.
12. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.

Type VII 8-Unit Apartment

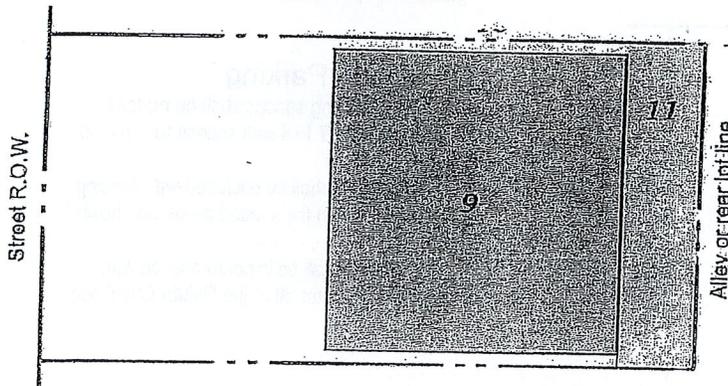
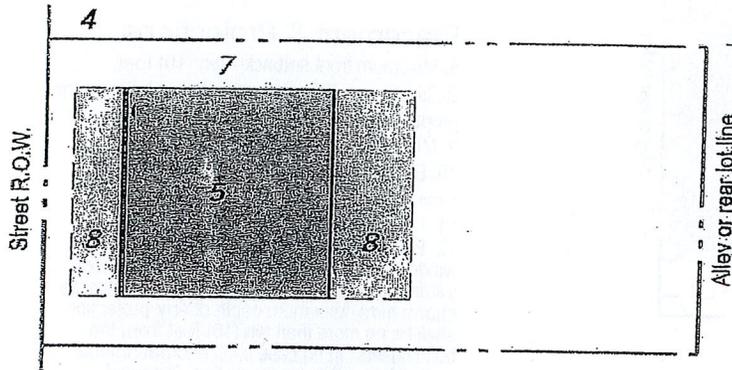
Use and Height

1. Uses of building shall be as shown here.
2. Maximum building height should be 2 stories. Building height shall be measured by the number of structural floors from the street elevation. The building shall have a first floor elevation between 6" and 36" above front elevation grade level. Each building's first story should not exceed 12 feet in height and the second floor should not exceed 10 feet in height, measured from floor to ceiling.
3. A residential use of not more than 720 square feet shall be permitted as an accessory unit above a detached garage. Occupancy of an accessory unit should not require on-site parking. Access to accessory unit will always be made via interior stairwell.



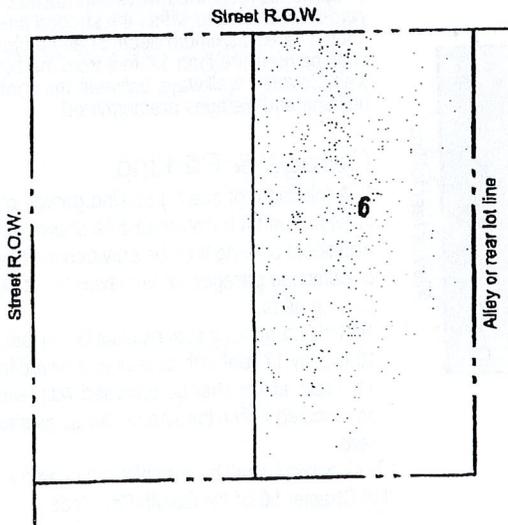
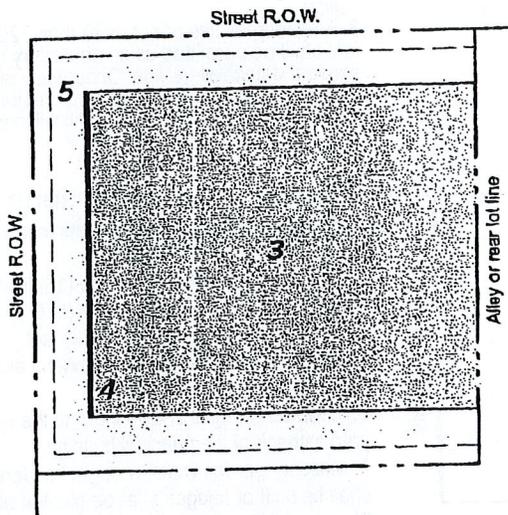
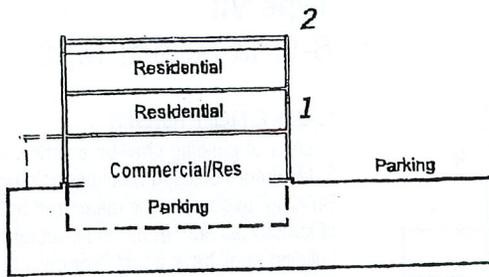
Placement & Projections

4. Buildings shall be set within lots relative to the property lines as shown here. Minimum frontyard setback - ten (10) feet. Minimum sideyard setback - five (5) feet. Corner sideyard setback - nine (9) feet
5. Building street facades shall extend along the lot width as designated here.
6. Attached garages shall adhere to the side yard setback of the principal building.
7. Masonry garden walls, wrought iron fencing shall be built or hedges shall be planted along the property lines to define the street's edge.
8. Balconies, stoops, open porches, bay windows, covered walkways and raised door yards are permitted within the shaded areas as shown here. Maximum depth of any projection shall be no more than 12' feet from the building wall. Covered walkways between the principal building and garages are permitted.



Garage & Parking

9. A minimum of one (1) parking garage shall be provided within the shaded area shown here. Additional parking may be provided in attached or detached garages, or on paved concrete parking pads.
10. Private parking spaces shall be no less than 10 feet by 17 feet with access to a paved lane.
11. Trash areas shall be enclosed with fencing and located within the shaded areas as shown here.
12. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.



Type VIII Mixed-Use Building

Use and Height

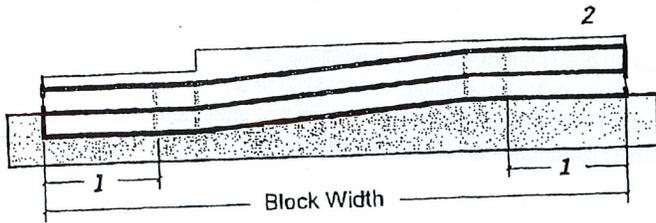
1. Only the main floor of the building may house retail or commercial uses.
2. Residential space may be located on any of the three stories.
3. The building shall have a first floor elevation not to exceed twelve (12) inches above grade; on-grade is preferred.
4. Maximum building height is three (3) stories.
5. Each building's first story shall not exceed fourteen (14) feet in height measured from floor to ceiling.
6. Garages may be attached to the rear of the principal building.
7. Enclosed garage parking spaces may also be accommodated under the building.

Placement & Projections

8. Maximum front setback—ten (10) feet. Buildings should be set within lots relative to the property lines as shown here.
9. Maximum corner setback—ten (10) feet.
10. Building facades shall face the adjacent street.
11. Rear setback—six (6) feet.
12. Balconies, stoops, open porches, bay windows, covered walkways and raised door yards are permitted within the shaded areas as shown here. Maximum depth of any projection shall be no more than ten (10) feet from the building wall; in no case shall encroachments extend beyond the property line. Covered walkways between the principal building and garages are permitted.

Garage & Parking

13. Private parking spaces shall be no less than 10 feet by 17 feet with access to a paved lane.
14. Trash areas shall be enclosed with fencing and located within the shaded areas as shown here.
15. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.



Type IX Parking Building

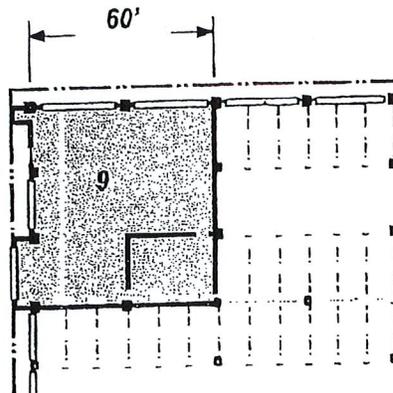
Use and Height

1. Uses of building shall be as shown here; the only use permitted above the first floor is parking.
2. Building height shall be measured by the number of structural floors from the street elevation.
3. Maximum building height shall be 2 stories. Each building's first story should not exceed 12 feet in height measured from floor to ceiling.
4. Commercial floor space is permitted within 60 feet of the building's façade.
5. Parking for commercial uses shall be accommodated on-street and/or within the building.



Placement & Projections

6. Buildings shall be set relative to the property lines as shown here.
7. Building street facades shall extend along the lot width as designated here. Setback of six (6) feet may occur along any portion of the building's façade.
8. Entrance and café canopies are permitted projections within six (6) feet of the property line.



Commercial Uses

9. A maximum of sixty (60) feet from the buildings' front facade may be dedicated to current or future commercial uses.
10. Permitted uses shall conform with Chapter 50 Article XIV of the Duluth City Code (C-1 Commercial District).
11. Commercial floor space may be aggregated along the building façade.
12. In the absence of storefront windows, ventilation screening openings and patterns shall complement the proportion and scale of neighboring building façade openings.
13. All parking shall be in conformance with Article III of Chapter 50 of the Duluth City Code.

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Architectural Standards

The Architectural Standards are a written description of suggested building materials, configurations, and techniques for new construction, whether for an entirely new building, or for an addition or renovation of an existing building. These standards favor construction that is durable and ecologically sensitive, and that promotes visual harmony throughout the neighborhood. The intent of these standards is to reflect the local building patterns and styles, and reinforce them through built form.

Civic buildings are exempt from these standards, as they are expected to be expressive of the artistic and civic aspirations of the community's or neighborhood's citizens.

Note: New construction in the Ramsey Village Neighborhood shall conform to the Architectural Standards as defined here. For renovations if the permit value of any exterior renovations exceed 30% of the market value of the home then the renovation plans shall conform to the Architectural Standards here.

Illustrations are from A Visual Dictionary of Architecture, Francis D. K. Ching, Van Nostrand Reinhold, 1995.

Exterior Building Walls

Materials:

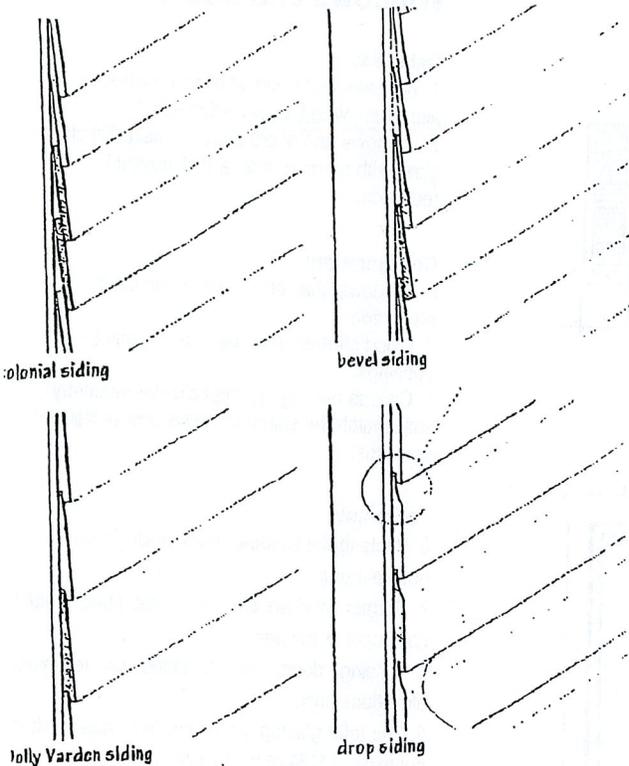
- 1. Exterior building walls shall be finished in brick, stone, wood clapboard, or hardboard and batten siding.
- 2. Residential units may be finished in vinyl siding, but must be color changeable or capable of new paint.

Configuration:

- 3. Two or more wall materials shall be combined only horizontally on one facade.
- 4. Exterior chimneys shall be finished in brick or stone.

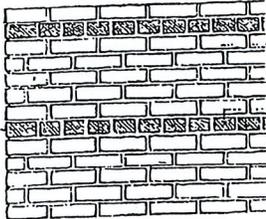
Technique:

- 5. Clapboard (or bevel) siding shall be 3.5" to 6" to the weather.
- 6. Dropsiding in any material shall not exceed 6" to the weather.
- 7. Brick shall be laid in a true bonding pattern. Stack patterns are not permitted.



common bond
A brick work bond having a course of headers between every five or six courses of stretchers. Also called American bond.

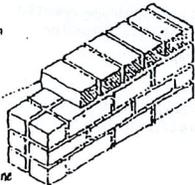
closer
A masonry unit specially formed or cut to finish a course or complete the bond at the corner of a wall. Also, closure.



stretching course
A continuous course of stretchers in brickwork.

heading course
A continuous course of headers in brickwork.

bond course
A continuous course of headers or bondstones overlapping more than one wythe of masonry.



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Windows and Doors

Materials:

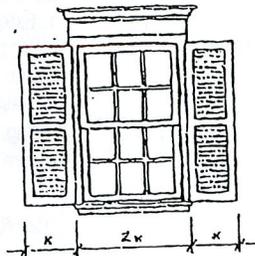
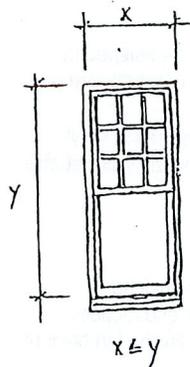
1. Windows and doors shall be constructed of aluminum, wood, or vinyl-clad wood.
2. Windows and doors shall be glazed in clear glass with no more than a 10% daylight reduction.

Configuration:

3. Windows shall be square or vertical in proportion.
4. Wood shutters shall be sized to match openings.
5. Canvas awnings (except circular geometry) shall match the shape of the window or transom openings.

Technique:

6. Rectangular windows shall be single or double-hung.
7. Dormer windows shall be double hung, hinged casement or hopper.
8. Sliding doors are permitted on rear-yard elevations only.
9. The total glazing area on the front façade shall not exceed 50% of the façade surface.
10. Door swings on all buildings shall not encroach on public rights of way.



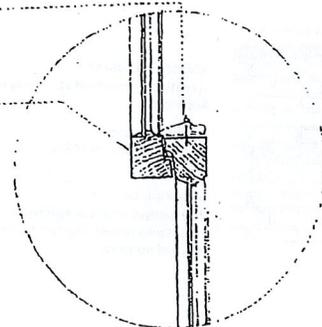
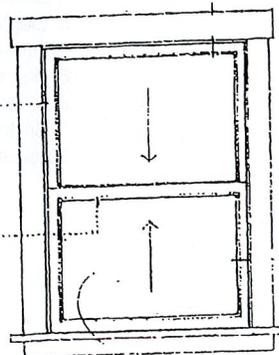
hung sash
A vertically sliding window sash balanced by a counterweight or a pretensioned spring on each side so that it can be raised or lowered with relatively little effort. Also called *balanced sash*.

meeting rail
The rail of each sash in a double-hung window that meets at the rail of the other when the window is closed.

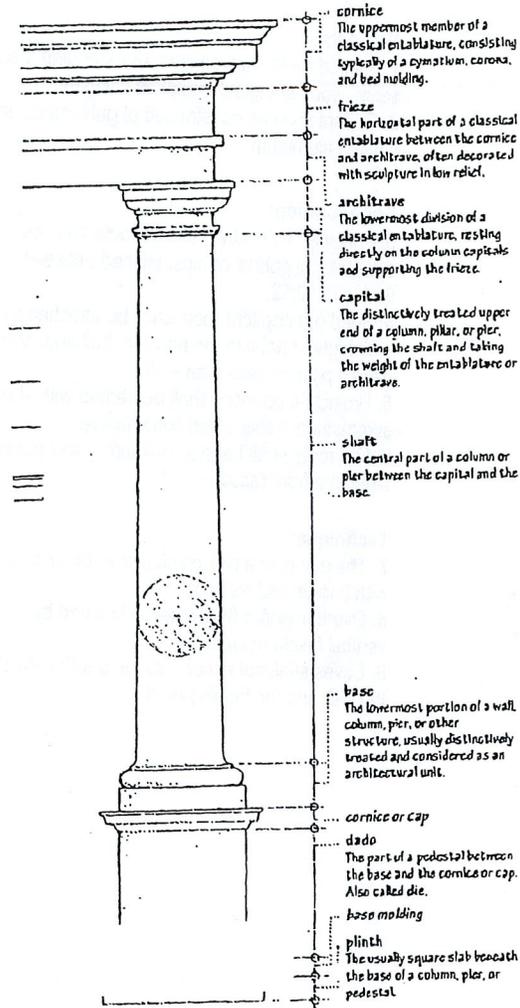
sash fast
A fastening on the meeting rail of one sash which swings across to the meeting rail of another sash and engages with a spur on it. Also called *sash fastener*.

check rail
A meeting rail, esp. one closing against a corresponding rail with a diagonal or rabbeted overlap.

plain rail
A meeting rail equal in thickness to the other members of the frame.



Building Elements



Materials:

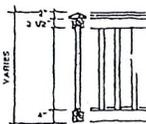
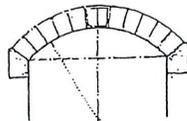
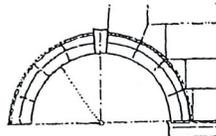
1. Columns, posts, balconies, porches and bay windows shall be constructed of wood, brick, and/or composite materials that closely represent a wood finish.
2. Stoops shall be constructed of wood elements or cast concrete, and finished in brick, stone, and/or composite materials that closely represent a wood or stone finish.
3. Railings shall be constructed of wood, wrought iron, and/or composite materials that closely represent a wood or iron finish.

Configuration:

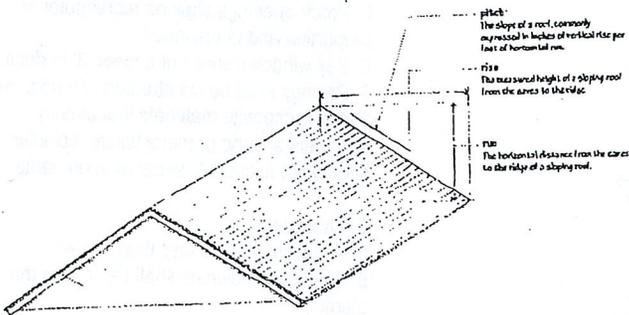
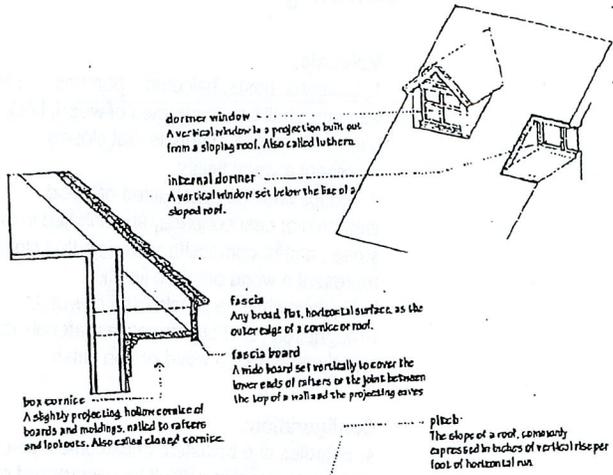
4. Spindles and balusters of balconies, porches, staircases and decks shall be constructed of wood and/or composite materials that closely represent a wood finish and not exceed 6" separation on center.
5. Porch openings shall be rectangular in proportion and unenclosed.
6. Bay windows shall not exceed 3' in depth.
7. Railings shall be constructed of wood, metal and/or composite materials that closely represent a wood or metal finish; spindles should not exceed 4" separation on center.

Technique:

8. Posts shall be no less than 4" x 4".
9. Cylindrical columns shall be no less than 6" in diameter.



Roofs



Materials:

1. Pitched roofs shall be clad with standing metal seam, wood shingles or asphalt shingles.
2. Gutters shall be constructed of galvanized and painted aluminum.

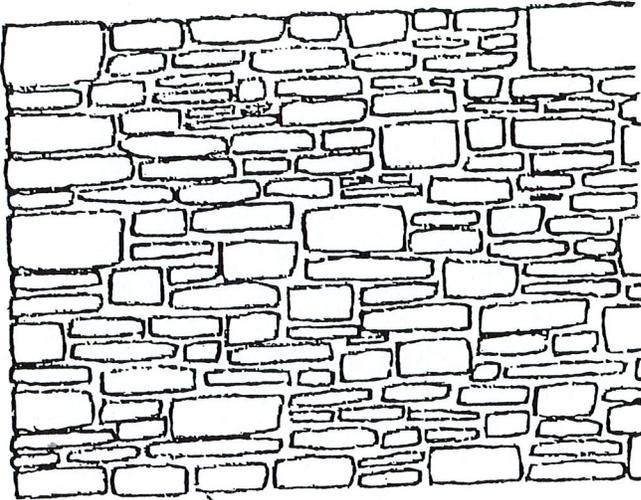
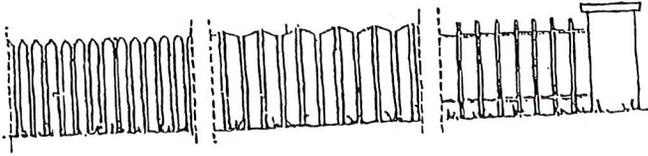
Configuration:

3. Principal residential building roofs shall be symmetrical gables or hips, pitched between 6:12 and 12:12.
4. Shed (monopitch) roofs shall be attached by their highest point to the principal building, and have a pitch no less than 4:12.
5. Projecting dormers shall be framed with shed, symmetrical gable or hip construction.
6. Flat roofs shall have a minimum 3-foot parapet along the front facade.

Technique:

7. The eaves of a box cornice shall be enclosed with boards and molding.
8. Overhanging rafters shall be finished by vertical fascia boards.
9. Eaves shall not exceed 36" in depth between the wall and the fascia board.

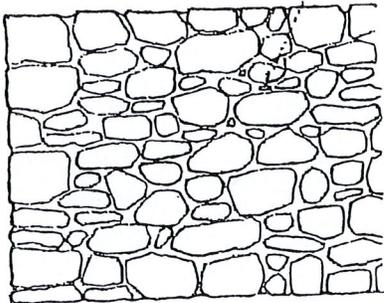
Garden Walls and Fences



squared rubble

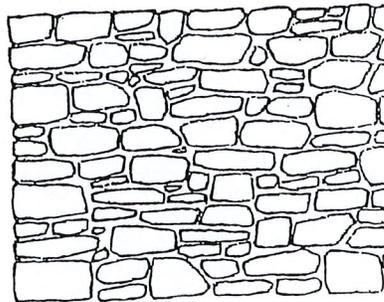
A rubble wall built of squared stones of varying sizes and coursed at every third or fourth stone.

rubble
Rough fragments of broken stone or the masonry built of such stones.



random rubble
A rubble wall having discontinuous but approximately level beds or courses.

gallet
To embed small stone chips in the mortar joints of rough masonry to wedge larger stones in position or add detail to the appearance. Also, garret.



coursed rubble
A rubble wall having approximately level beds and brought at intervals to continuous level courses.

Materials:

1. Fences shall be constructed of wood pickets, lattice or boards, or wrought iron sections.
2. Garden walls shall be finished in brick or rock-textured concrete block to match the principal building.
3. Masonry retaining walls shall be constructed with local rubble in a random, coursed or squared pattern.

Configuration:

4. Brick or stone walls shall be no less than 8"/1 thick and capped with concrete block or stone header.
5. Perimeter fences shall be constructed with no more than 3"/1 gaps between pickets.
6. Fences and walls shall be between 30"/1 and 40"/1 in height.
7. The undercroft of decks shall be enclosed by wood lattice.

Technique:

8. Wood fences shall be painted or stained in a color complementary to the principal building.

Garden Walls and Fences

1. The garden wall is a structure that separates the garden from the rest of the property. It can be made of brick, stone, or concrete. The wall is usually built on a concrete foundation. The wall is usually built on a concrete foundation. The wall is usually built on a concrete foundation.

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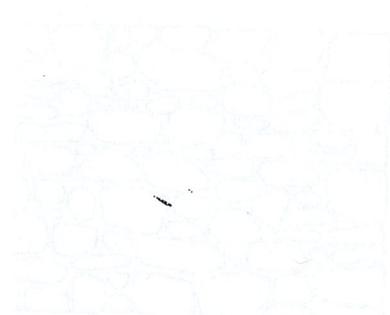
A garden wall built of square blocks of virgin stone and covered all over with a rough stone.

4. The garden wall is a structure that separates the garden from the rest of the property. It can be made of brick, stone, or concrete. The wall is usually built on a concrete foundation. The wall is usually built on a concrete foundation. The wall is usually built on a concrete foundation.

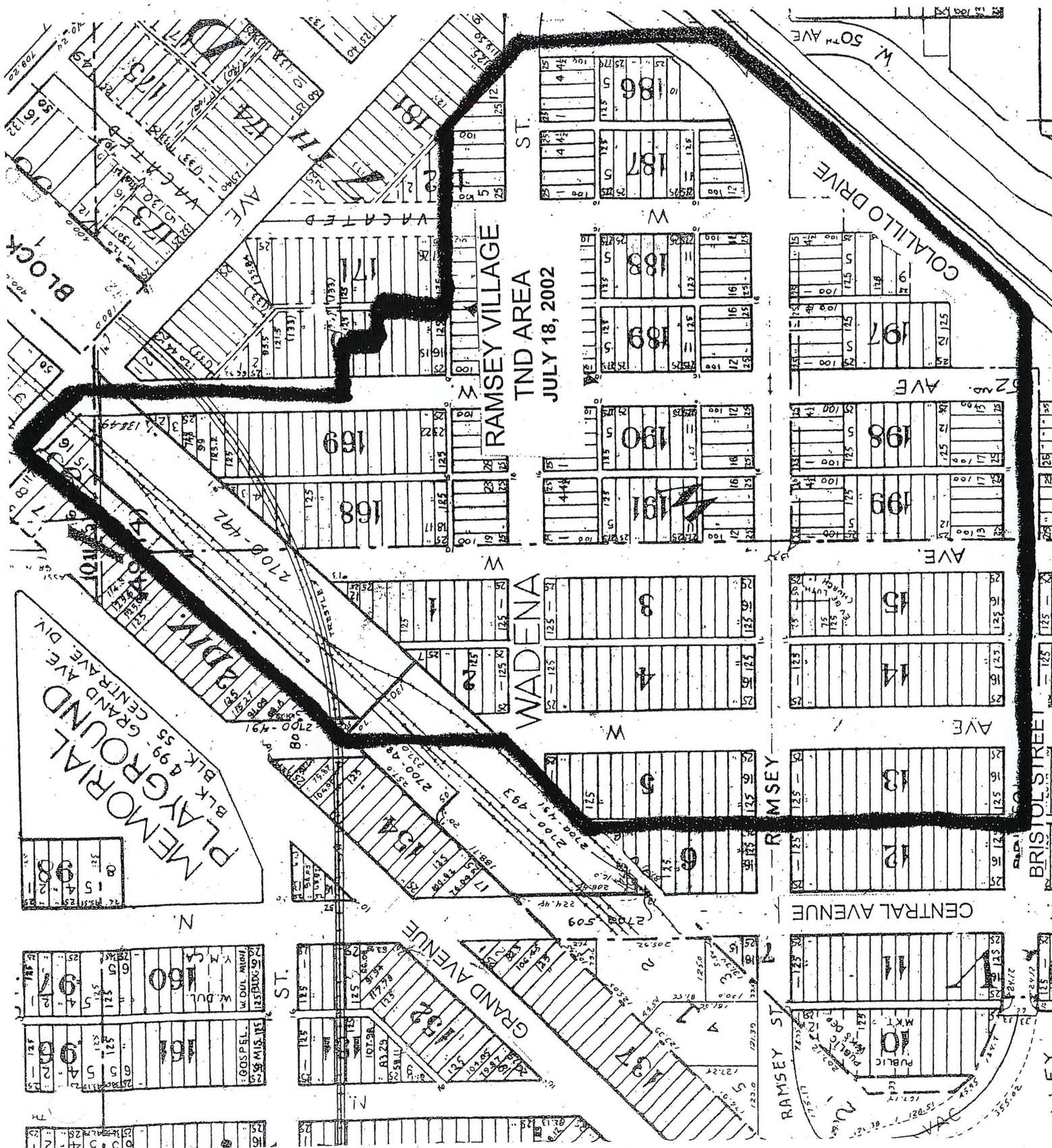


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RAMSEY VILLAGE
 TND AREA
 JULY 18, 2002

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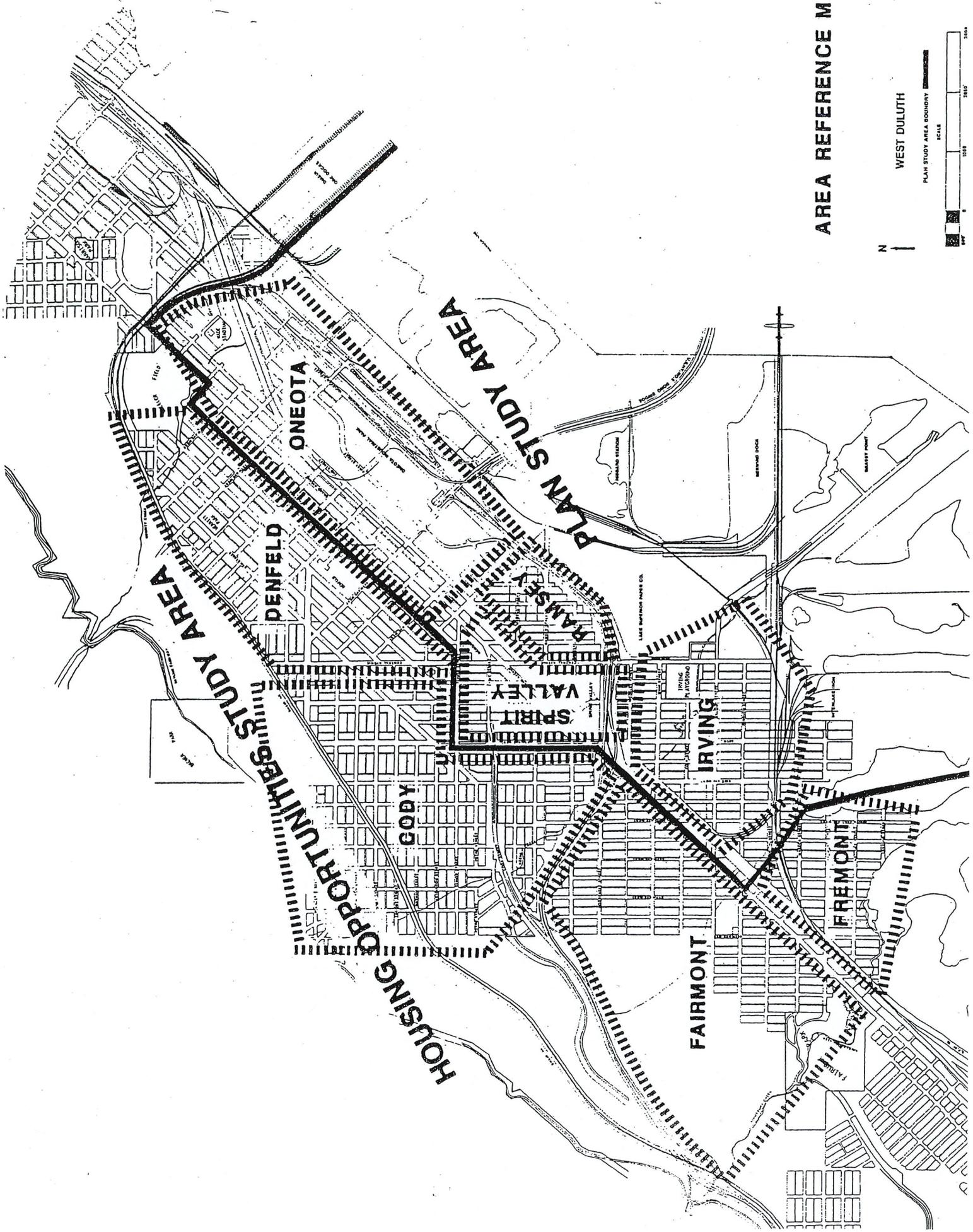
RAMSEY

CENTRAL AVENUE

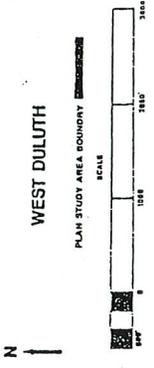
BRISTOL STREET

COLALILLO DRIVE

W 50TH AVE



AREA REFERENCE MAP



WEST DULUTH

PLAN STUDY AREA BOUNDARY

SCALE

0 100 200 300

Planning Commission File Numbers relating to TNDs

FN 01038 Creating TND Ordinance, Ord #9503, passed 9-24-2001

TND #1 Ramsey Village Neighborhood

FN 02074 Establishing Ramsey Village Neighborhood TND, Ord. #9594, 3-24-2003, Public Doc. #03-0324-15

FN 03118 Amended for technical corrections including allowing Building Type VIII (Mixed Use) at the SE and SW corner of 54th Ave. W. and Ramsey St., Ord #9635, 11-24-2003, Public Doc. #03-1124-20

FN 05095 Amended to allow a Type IV area to be re-designated to a Type II use and to allow for a monument sign to be placed at the corner of Ramsey St. and 54th Ave. W., Ord #9753, 10-24-2005

FN 08029 Amended to allow a Type VIII use at the adjacent 5209 property, to allow for a small office function on the main floor. Ord. #9911

FN 08085 Amended to allow Type VIII (mixed use building) instead of Type I & IV at 5201 Ramsey St. (NW corner of Ramsey and 52nd, Lots 12 and 13, Block 190, West Duluth 7th Div.). Ord. #08-063

FN 1077

TND #2 Harbor Highlands

FN 02128 Establishing Harbor View/Central Hillside Revitalization TND Development Code, Ord. #9586, Public Doc. #03-0127-43, 11-15-2002, amended 12-20-2002

FN 04018 Amendment, Ord. #9657, 4-19-2004, Public Doc. #04-0419-01 (Document dated 3/34/2004)

? Amended 9-28-2005

? Amended 10-14-2005

? Amended 1-25-2006

FN 05106 Amendment Ord #9768, Public Doc. #06-0227-26, 2-27-2006

STATEMENT OF PURPOSE: This zoning ordinance amendment provides for amendments to the "Harbor View /Central Hillside Revitalization, Traditional Neighborhood Development Code," documents of implementation.

The documents amount to a thorough re-analysis of the physical conditions of the project area as well as updated changes relating to the needs and desires of the project residents.

