

This packet will provide basic information for one story light wood framed detached residential garage construction. It does not address pole buildings, multi-story buildings, buildings with interior partitions, buildings with basements or buildings constructed for uses other than a private garage. No permit is required for buildings 120 s.f. or less, but building and zoning setback requirements do apply. Buildings in this category less than 600 s.f. in area need no be constructed on a permanent foundation.

Checklist

All plans must be drawn to scale in black or blue ink with the scale noted on the plans. Do not use pencil (it does not photocopy well). Clearly designate proposed work and existing conditions. Provide complete structural information.

Site Plan

Drawn to scale and indicating:

- Legal description and north arrow.
- Location and dimensions of all existing structures.
- Dimensions of lot and survey monumentation on which the site plan is based (ex: found property corner pins placed according to a recorded survey or plat.)
- Distance from proposed garage to property lines, to dwelling and to other structures.
- Driveway location.

Wall Section

Use the attached form. Indicate whether you will use a frost footing or an engineered slab. Where walls exceed 10 feet, analysis by an engineer is required with documentation submitted.

Header Design Information

Must be indicated on the attached form.

- As a general rule, the following header sizes are acceptable:
 - For openings not exceeding 3'-6", (2) 2x4s on edge (one cripple stud each end.)
 - For openings not exceeding 5'-0", (2) 2x6s on edge (one cripple stud each end.)
 - For openings not exceeding 9'-0", (2) 2x12s on edge (two cripple studs each end.)
 - For openings exceeding 9'-0", an LVL header is required. For information on LVL headers, contact the LVL supplier.

Truss Design Plans

Must be available on site at framing inspection.

Foundations

Must be indicated on the attached form.

- 5 inch reinforced slab on grade with 60 Inch drop footings, poured concrete or core-filled block or, for garages up to 1500 square feet, pre-engineered floating slab with thickened edges, reinforced as detailed. Slabs for larger garages must be designed and plans stamped by a MN licensed engineer.

<http://www.duluthmn.gov/onestop>

411 W 1st St, Room 210
Duluth MN 55802
Phone: 218.730.5240

Setback Requirements

Setbacks are required distance from property lines and other buildings of the same or adjacent lot. Construction must comply with the Duluth Unified Development Chapter (UDC), including overlay district requirements, and Minnesota Residential Code (MRC) requirements for location on lot. The following is a summary of setback requirements.

Zoning Setback Requirements

(UDC 50-14 and 50-21.3)

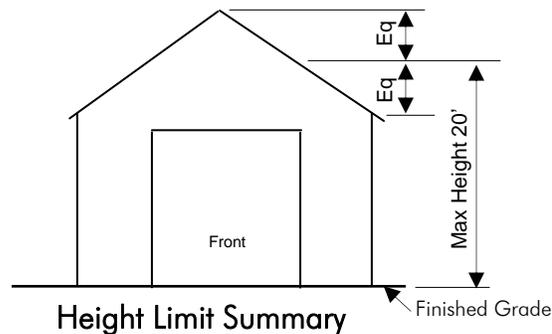
- **Rear property line** 5 feet from rear property line.
- **Front property line** As required for the dwelling. Site specific.
- **Side property line** 3 feet. Building code requirements are more restrictive. See UDC for corner lots.

Building Code Location on Lot Requirements

- **Exterior Walls**
 - Required distance from property lines:** 5 feet, except when exterior wall has a fire resistance rating of one-hour from both sides and no openings.
 - Required distance from other buildings on the same lot:** 10 feet, except when eave has a fire-resistive rating of one-hour from both sides and no openings, then 5 feet.
- **Overhangs**
 - Required distance from property lines:** 5 feet, except when exterior wall has a fire resistance rating of one-hour from both sides and no openings, then 2 feet.
 - Required distance from other buildings on the same lot:** 10 feet, except when eave has a fire-resistive rating of one-hour from both sides and no openings, then 7 feet.

Height

Maximum 20 feet from front grade to highest point of a flat roof or the average height of the highest gable.



Attic Storage Area

May not exceed 1/3 of floor area and must be open to area below. If greater than 1/3 area is used or attic area is enclosed, it is considered as second story and different requirements apply.

Maximum Allowed Area

May not exceed 30% of rear yard. Where a lot abuts an alley, one-half of alley width may be considered part of the required rear yard.

Floor

Garage surface may be concrete, asphalt, sand, gravel, crushed rock, or natural earth.

Building Section

Provide information as indicated

ROOF SLOPE = / 12

Roofing: _____
 Sheathing _____
 Trusses @ _____ o.c.
 Mfg. By _____

Overhang Dimension _____

Type of Roof: Gable
 Gambrel
 Hip
 Flat
 Shed

Garage Door Width _____ ft _____ in

NOTE: Doors in the wall carrying the roof load over 9' wide require the use of an engineered lumber product. Supplier's design info must be submitted with permit application.

Size of Header: _____ x _____
 Under eave
 Under gable

5" Engineered Slab

6" Gravel Base

6" MIN WOOD TO FIN GRADE

_____ x _____ Studs @ _____" o.c.

60" MIN

Typical Frost Footing Foundation
 _____" Core-filled Concrete Block
 8" x (W) _____"
 Footing

Fin Grade

See Detail

NOTE: Construction of a retaining wall greater than 4' high either as part of garage foundation or to create the building site requires stamped design by a MN licensed engineer. YES
 Is a retaining wall part of this project? NO

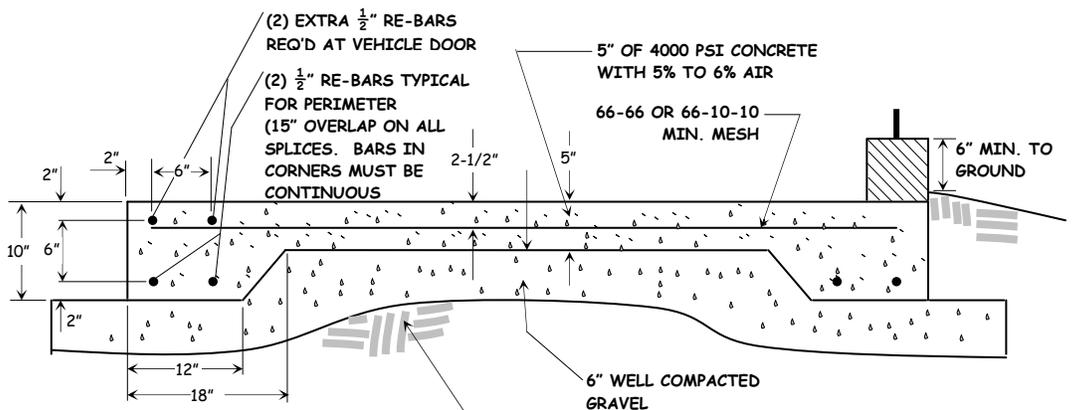
Which type of foundation are you constructing?
 Engineered Floating Slab
 Frost Footing

NOTE: Floor SHALL BE SLOPED for flow to a drain or the main vehicle door

- Call for form inspection before pouring: 730-5250
- Allow 24 Hours Notice

Engineered Floating Garage Slab Detail

Minimum standards for one story detached garages over 400 s.f. and less than 1500 s.f.



- NOTES:
1. TREATING OIL RECOMMENDED
 2. USE 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 7" INTO CONCRETE, MAX. 6' SPACING
 3. FOUNDATION PLATES ON A CONCRETE SLAB SHALL BE TREATED WOOD OR FOUNDATION REDWOOD
- PREPARED SUBGRADE (REMOVE SOD AND UNSUITABLE MATERIALS AND REPLACE WITH STABLE MATERIALS)

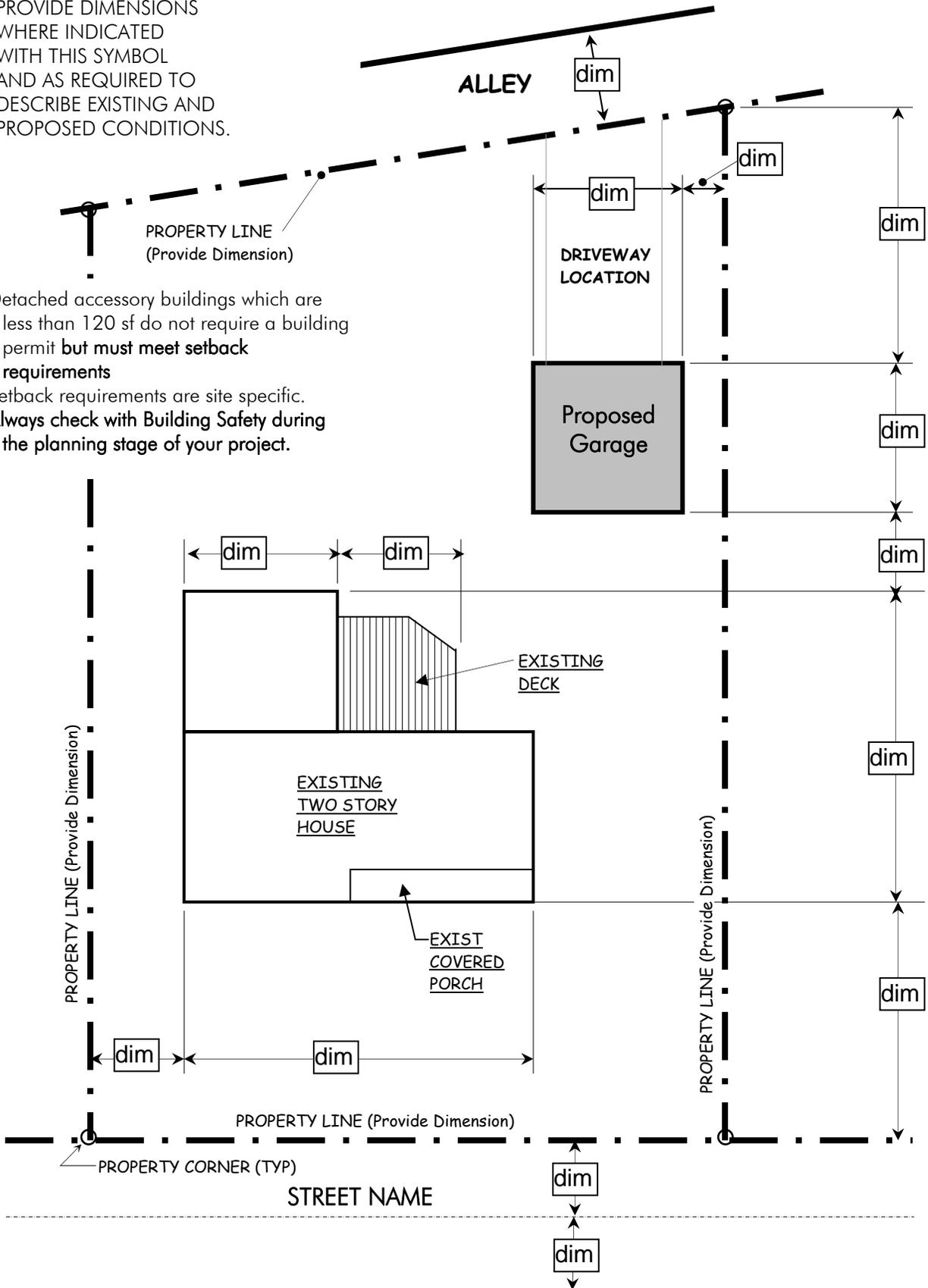
Sample Site Plan

Don't use this sheet-create your own drawing.

SCALE: 1" = _____ FEET

dim PROVIDE DIMENSIONS WHERE INDICATED WITH THIS SYMBOL AND AS REQUIRED TO DESCRIBE EXISTING AND PROPOSED CONDITIONS.

- Detached accessory buildings which are less than 120 sf do not require a building permit **but must meet setback requirements**
- Setback requirements are site specific.
- Always check with Building Safety during the planning stage of your project.



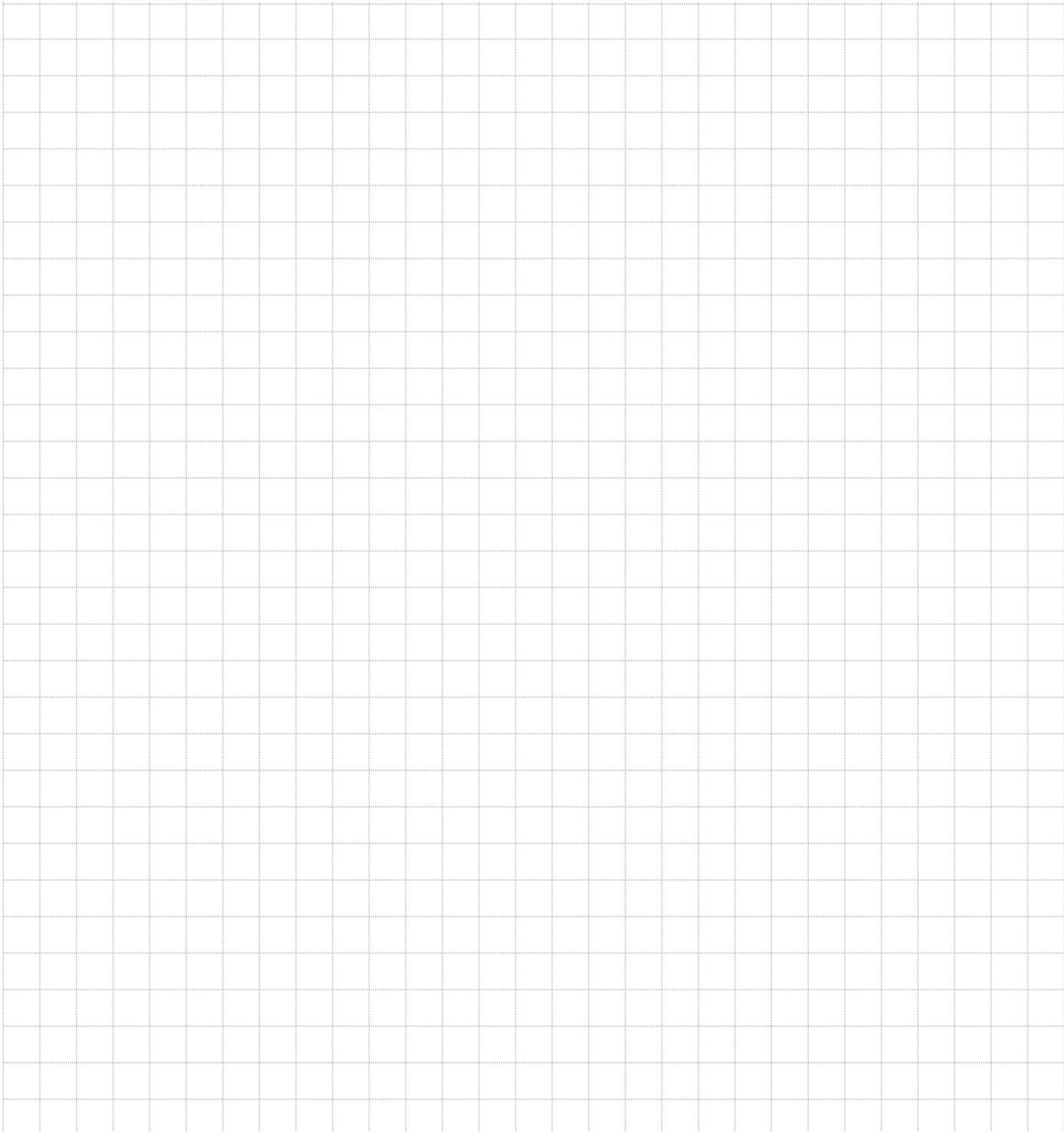
Site Plan Instructions

Provide two copies

- If the footprint of the building will not be changed the site plan must be drawn to scale and must include the following:
 - ⊕ Dimensions of lot. Property lines must be consistent with the legal description of the property
 - ⊕ All buildings existing on the lot, their exterior dimensions, distances to property lines.
 - ⊕ Include all projections and any accessory structures (decks, garages, sheds, etc).
 - ⊕ The legal description of the property
 - ⊕ Scale
 - ⊕ North arrow

- If the footprint of the building will be changed, in addition to the above:
 - ⊕ Dimensions of lot and survey monumentation on which the site plan is based (eg: found property corner pins placed according to a recorded survey or plat.)
 - ⊕ Complete exterior dimensions of all proposed structures, projections and additions and dimensions to all property lines.
 - ⊕ Adjacent streets or alleys with right-of-way widths shown, if known.
 - ⊕ Any known easements on the property (ex. utility or access) with dimensions.
 - ⊕ Existing and proposed drainage patterns.
 - ⊕ Setback distances (front, rear and side) required by applicable codes.
 - ⊕ Indicate the location of any utilities in the vicinity of the proposed work.
 - ⊕ Attach all prior Planning Commission or Council approvals.

Other information may be required for certain sites and will be requested during the plan review process.



North arrow required
Scale: 1"=___ feet

SITE PLAN

Grid is 4 squares per inch
DO NOT USE PENCIL

Site Address

Owner's Name

This site plan is an accurate and complete representation of the footprint(s) of all existing and proposed structure(s) and their location(s) on the subject property

Applicant's Signature

Date